

## ADDENDA NO. 2

### 1.1 PROJECT INFORMATION

- A. Project Name: **Orange High School Phase 2 Renovations.**
- B. Owner: **Orange County Schools.**
- C. Architect: **CRA Associates, Inc.**
- D. Architect Project Number: **2231-OHS.2.**
- E. Date of Addendum: **January 24, 2025.**

### 1.2 NOTICE TO BIDDERS

- A. This Addendum is issued to all registered plan holders pursuant to the Conditions of the Contract. This Addendum serves to clarify, revise, and supersede information in the Project Manual, Drawings, and previously issued Addenda. Portions of the Addendum affecting the Contract Documents will be incorporated into the Contract by enumeration of the Addendum in the Owner/Contractor Agreement.
- B. The Bidder shall acknowledge receipt of this Addendum in the appropriate space on the Bid Form.
- C. The date for receipt of bids is unchanged by this Addendum, at same time.

### 1.3 ATTACHMENTS

- A. This Addendum includes the following attached Documents and Specification Sections:
  - 1. Document “Form of Proposal,” (reissued).
    - a. Bidders are to use this Form in place of the Form included in the Project Manual and are reminded that it shall be accompanied by the attachments stipulated in the “Form of Proposal” and the “Notice to Bidders.”
- B. This Addendum includes the following attached Sheets:
  - 1. Architectural Sheet A2.4 – Field House Demolition and Renovation Plans, dated January 9, 2025, (reissued).

1.4 REVISIONS TO DIVISION 00 PROCUREMENT REQUIREMENTS AND CONTRACTING REQUIREMENTS

A. Document “Section SC – Supplemental Conditions,” (not reissued).

1. Paragraph 8.2.4: Between the dates for Notice to Proceed and Substantial Completion, insert the following:

Commencement of Construction on Field House Renovations: **May 19, 2025.**

Commencement of Construction on Remainder of Work: **June 9, 2025.**

2. After Final Completion, insert the following:

Time for Completion: **142 calendar days.**

1.5 REVISIONS TO DIVISION 01 GENERAL REQUIREMENTS

A. Specification Section 11000 - Summary, (not reissued).

1. Paragraph 1.5.A, subparagraph 1b: Substantial completion by **August 1, 2025.**
2. Paragraph 1.5.A, subparagraph 2b: Substantial completion by **August 1, 2025.**

1.6 REVISIONS TO DIVISIONS 02 - 49 SPECIFICATION SECTIONS

A. Specification Section 093013 – Ceramic Tiling, (not reissued).

1. Paragraph 2.3.B, subparagraph 10a: Base Cove: Cove base module size 6 by 12 inch (152.5 by 304.8 mm).

1.7 REVISIONS TO DRAWING SHEETS

A. Sheet A2.0 – Band and Choral Room Demolition Plan (not reissued).

1. Drawing 1/A2.0: At Staff Toilet 215 on plan, revise demolition keynote from ‘13A’ to ‘13’.

B. Sheet A2.1 – Band and Choral Room Renovation Plan (not reissued).

1. Legend RENOVATION NOTES: Clarification; Note #6 calls for only frame to be repainted. Existing door 706X, where this keynote appears, is to be replaced with new, prefinished FRP door. See Door Schedule, Sheet A5.1
2. Drawing 1/A2.1:
  - a. In two locations in Band Room 706 on plan, revise the note reading ‘Wainscot’ to read ‘Wainscot-Height Wall w/ Wood Cap’. Detail 2/A2.0 shows this wall. Detail 3/A2.1 shows the trophy shelf that is several feet above this wall. See elevations on Sheet A4.1.
  - b. Along the East wall of Band Room 706, dashed line indicates trophy shelf above. See elevations on Sheet A4.1.

- c. At Staff Toilet 715 on plan, delete renovation keynotes 5 & 6.
- C. Sheet A2.3 – Agriculture Building Demolition and Renovation Plans (not reissued).
  - 1. Legend RENOVATION NOTES:
    - a. Delete renovation Keynotes 2 & 3.
    - b. Clarification, renovation Keynotes #4; where note calls for “paint entire wall” substitute the following:
      - 1) In Classroom 600 paint the entire West wall in which infill occurs.
      - 2) In Classroom 602 paint the entire East wall in which infill occurs including return to corridor door and wall in which door occurs.
      - 3) In Shops 601 & 603, paint wall in which infill occurs from partition separating Shops to face of door jambs beyond infill in each room.
  - 2. Drawing 3/A2.3:
    - a. In Shops 601 & 603, delete renovation notes 2 & 3. Per demolition keynotes 9, 10 & 11, Owner will reinstall these items after completion of Work in these areas.
    - b. In Corridor 612, install resinous flooring as shown. Follow resinous flooring manufacturer’s instructions for installing over joints in substrate.
    - c. In Toilets 613 & 616, toilet partitions are new. General note for project: no demolished toilet partitions will be reinstalled; all toilet & shower partitions shown on renovation plans shall be new.
- D. Sheet A2.5 – EC Room Demolition and Renovation Plans (not reissued).
  - 1. Drawings 2/A2.5:
    - a. Change Detail title to ‘Enlarged Plan – EC Room 309 and Toilet 309A.’
    - b. Add Keynote #4 below room tag in EC Room 309. Repaint all walls in room 309.
- E. Sheet A2.6 – Wing 400 Basement Demolition and Renovation Plans (not reissued).
  - 1. Legend RENOVATION NOTES: Add renovation Keynote #6: Paint walls (as called for in Finish Schedule on Sheet A5.2).
  - 2. Drawing 2/A2.6:
    - a. Add Keynote #6 below room tags in Boys 040B and Girls 040C.
    - b. In Boys 040B and Girls 040C, lockers will not be refinished or repainted.
- F. Sheet A4.2 – Toilet and Locker Room Interior Elevations (not reissued).
  - 1. Drawings 1 /A4.2: Clarification; Shower partitions shown in Shower 114 are new. Contractor to provide.
  - 2. Drawings 10, 11, 12 & 13/A4.2: Clarification; Toilet partitions shown in Girls 613 and Boys 616 are new. Contractor to provide.

G. Sheet A5.1 – Partition Schedule, Door Schedule and Details (not reissued).

1. Drawing DOOR SCHEDULE:

- a. For new doors 309A, 600, 602, 612 & 612A, delete Note #1 in Remarks column.
- b. Clarification: Door 309A is a new door in a new frame; doors 600, 602, 612 & 612A are new doors in existing frames. Paint existing frames and provide new doors similar to existing, with same types of hardware so that frames do not need to be adapted.
- c. Door 706X is a new pair of FRP doors. Revise finish to “Prefinished.”

H. Sheet A5.2 – Finish Schedule and Details (not reissued).

1. Drawing FINISH SCHEDULE: Revise as follows:

- a. 040B Boys:
  - 1) Floor: Existing VCT to remain
  - 2) Floor at toilet and urinal stalls: Ceramic Tile CT-1
  - 3) Base: Rubber
  - 4) Base at toilet and urinal stalls: Ceramic Tile.
- b. 040C Girls:
  - 1) Floor: Existing VCT to remain
  - 2) Floor at toilet stalls: Ceramic Tile CT-1
  - 3) Base: Rubber
  - 4) Base at toilet stalls: Ceramic Tile.
- c. 309 EC Room:
  - 1) Walls: CMU & Gyp Bd, Painted.
  - 2) Remarks: Delete Keynote #12.
- d. 601 Industrial Arts Shop:
  - 1) Remarks: Add Keynote #7.
- e. 603 Agriculture Shop:
  - 1) Remarks: Add Keynote #7.
- f. 704 Choral Room:
  - 1) Remarks: Add “Two Painted Logos”.
- g. 707 Instrument Storage:
  - 1) Remarks: Delete “Two Painted Logos”.
- h. 715 Staff Toilet:
  - 1) Floor: Ceramic Tile CT-1.
  - 2) Base: Schluter Trim.
  - 3) Walls: Ceramic Tile CT-2.
- i. 101 Treatment:
  - 1) Floor: Existing VCT to remain.
  - 2) Remarks: Delete Keynote #12.
- j. 102 Office:
  - 1) Remarks: Delete Keynote #12.

- k. 103 Men:
  - 1) Remarks: Delete Keynote #12.
- l. 106 Storage:
  - 1) Floor: Existing VCT to remain.
- m. 107 Laundry:
  - 1) Floor: Existing VCT to remain.
  - 2) Remarks: Delete Keynote #12.
- n. 108 Boiler: Existing finishes to remain as is.
- o. 110 Corridor:
  - 1) Floor: Existing VCT to remain.
- p. 108 Electrical: Existing finishes to remain as is.
- q. 112 Locker No. 1:
  - 1) Floor: Reseal existing concrete.
- r. 115 Vestibule:
  - 1) Floor: Reseal existing concrete.
- s. 116 Locker No. 2:
  - 1) Floor: Reseal existing concrete.
- t. 120 Vestibule:
  - 1) Floor: Reseal existing concrete.
- u. 121 Locker No. 3:
  - 1) Floor: Reseal existing concrete.

I. Sheet P2.0 – Band, Choral, and Girls 201C Room Plumbing Plans (not reissued).

- 1. Drawings 1 & 2/P2.0: Clarification; There is a discrepancy between the plans regarding whether an existing water cooler is a single unit or a hi-lo double unit. Demolition Keynote #2 calls for the fixture to remain in place and be protected during construction. The fixture, whatever it is, will remain in place after the work is completed. No replacement is included in this Project.

J. Sheet M2.3 – EC Room Mechanical Demolition and Renovation Plans (not reissued).

- 1. Drawing 1/M2.3: Add note in Room 309 as follows: ‘Remove existing hot water convectors completely including covers, brackets/support hardware, finned tube radiators, piping/insulation, and all related appurtenances. Remove piping back to above ceiling and cap. Patch/repair holes from mounting hardware. See Architectural Drawings for painting of wall and replacement of ceiling panels.’

K. Sheet E0.1 – Electrical Details, Notes and Specifications (not reissued).

- 1. Legend FIRE ALARM (NOTES): The existing fire alarm is an EST-3 system.

- L. Sheet E2.1 – Band and Choral Room Renovation Plan (not reissued).
  - 1. Legend KEYED ELECTRICAL CONSTRUCTION NOTES: Confirmation; Note #2, existing light fixtures are to be removed for ceiling repair and then reinstalled and reconnected.
  
- M. Sheet E2.4 – EC Room Demolition and Renovation Plans (not reissued).
  - 1. Drawing 3/E2.4: Clarification; the 2X4 fixtures in the larger room (309) are existing and are currently all switched together with no dimming. They are to be re-wired so that they are dimmable as shown on the plans. The 2X2 fixtures shown in Toilet 309A are new fixtures.

END OF ADDENDUM NO. 2

# FORM OF PROPOSAL

Orange High School Phase 2 Renovations

Contract: Single-Prime General Construction

Hillsborough, NC

Bidder: \_\_\_\_\_

Orange County Schools

Date: \_\_\_\_\_

The undersigned, as bidder, hereby declares that the only person or persons interested in this proposal as principal or principals is or are named herein and that no other person than herein mentioned has any interest in this proposal or in the contract to be entered into; that this proposal is made without connection with any other person, company or parties making a bid or proposal; and that it is in all respects fair and in good faith without collusion or fraud. The bidder further declares that he has examined the site of the work and the contract documents relative thereto, and has read all special provisions furnished prior to the opening of bids; that he has satisfied himself relative to the work to be performed.

The Bidder proposes and agrees if this proposal is accepted to contract with the

Orange County Board of Education

in the form of contract specified below, to furnish all necessary materials, equipment, machinery, tools, apparatus, means of transportation and labor necessary to complete the construction of

Orange High School Phase 2 Renovations

in full and in complete accordance with the plans, specifications and contract documents, to the full and entire satisfaction of the

Orange County Board of Education

with a definite understanding that no money will be allowed for extra work except as set forth in the General Conditions and the contract documents, for the sum of:

## SINGLE PRIME CONTRACT:

### **Base Bid:**

\_\_\_\_\_ Dollars(\$)

*Site Work Subcontractor:*

*Plumbing Subcontractor:*

\_\_\_\_\_ *Lic* \_\_\_\_\_

\_\_\_\_\_ *Lic* \_\_\_\_\_

*Mechanical Subcontractor:*

*Electrical Subcontractor:*

\_\_\_\_\_ *Lic* \_\_\_\_\_

\_\_\_\_\_ *Lic* \_\_\_\_\_

*GS143-128(d) requires all single prime bidders to identify their subcontractors for the above subdivisions of work. A contractor whose bid is accepted shall not substitute any person as subcontractor in the place of the subcontractor listed in the original bid, except (i) if the listed subcontractor's bid is later determined by the contractor to be non-responsible or non-responsive or the listed subcontractor refuses to enter into a contract for the complete performance of the bid work, or (ii) with the approval of the awarding authority for good cause shown by the contractor.*

**ALTERNATES:**

Should any of the alternates as described in the contract documents be accepted, the amount written below shall be the amount to be "added to" or "deducted from" the base bid.

*Alternate #1 – Preferred Brand Alternate – Door Hardware*

(Add) \_\_\_\_\_ Dollars(\$)

*Alternate #2 – Preferred Brand Alternate – Plumbing Fixtures and Operators*

(Add) \_\_\_\_\_ Dollars(\$)

*Alternate #3 – Preferred Brand Alternate – Lighting Fixtures*

(Add) \_\_\_\_\_ Dollars(\$)



## MINORITY BUSINESS PARTICIPATION REQUIREMENTS

---

*Provide with the bid - Under GS 143-128.2(c) the undersigned bidder shall identify **on its bid** (Identification of Minority Business Participation Form) the minority businesses that it will use on the project with the total dollar value of the bids that will be performed by the minority businesses. **Also** list the good faith efforts (Affidavit A) made to solicit minority participation in the bid effort.*

***NOTE:** A contractor that performs all of the work with its own workforce may submit an Affidavit (B) to that effect in lieu of Affidavit (A) required above. The MB Participation Form must still be submitted even if there is zero participation.*

*After the bid opening - The Owner will consider all bids and alternates and determine the lowest responsible, responsive bidder. Upon notification of being the apparent low bidder, the bidder shall then file within 72 hours of the notification of being the apparent lowest bidder, the following:*

*An Affidavit (C) that includes a description of the portion of work to be executed by minority businesses, expressed as a percentage of the total contract price, which is equal to or more than the 10% goal established. This affidavit shall give rise to the presumption that the bidder has made the required good faith effort and Affidavit D is not necessary;*

*\* **OR** \**

*If less than the 10% goal, Affidavit (D) of its good faith effort to meet the goal shall be provided. The document must include evidence of all good faith efforts that were implemented, including any advertisements, solicitations and other specific actions demonstrating recruitment and selection of minority businesses for participation in the contract.*

***Note:** Bidders must always submit **with their bid** the Identification of Minority Business Participation Form listing all MB contractors, vendors and suppliers that will be used. If there is no MB participation, then enter none or zero on the form. Affidavit A **or** Affidavit B, as applicable, also must be submitted with the bid. Failure to file a required affidavit or documentation with the bid or after being notified apparent low bidder is grounds for rejection of the bid.*

## Proposal Signature Page

---

---

The undersigned further agrees that in the case of failure on his part to execute the said contract and the bonds within ten (10) consecutive calendar days after being given written notice of the award of contract, the certified check, cash or bid bond accompanying this bid shall be paid into the funds of the owner's account set aside for the project, as liquidated damages for such failure; otherwise the certified check, cash or bid bond accompanying this proposal shall be returned to the undersigned.

Respectfully submitted this day of \_\_\_\_\_

\_\_\_\_\_  
(Name of firm or corporation making bid)

WITNESS:

\_\_\_\_\_  
(Proprietorship or Partnership)

By: \_\_\_\_\_  
Signature

Name: \_\_\_\_\_  
Print or type

Title \_\_\_\_\_  
(Owner/Partner/Pres./V.Pres)

Address \_\_\_\_\_

ATTEST:

By: \_\_\_\_\_

Title: \_\_\_\_\_  
(Corp. Sec. or Asst. Sec. only)

License No. \_\_\_\_\_

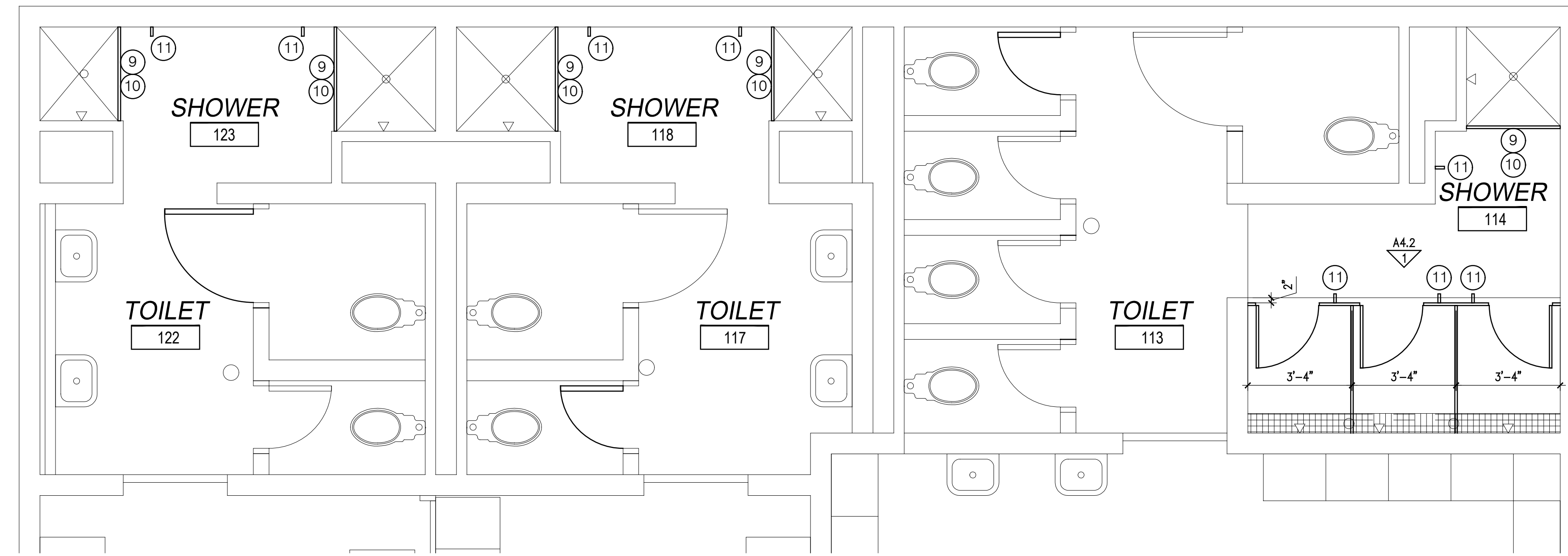
Federal I.D. No. \_\_\_\_\_

(CORPORATE SEAL)

Addendum received and used in computing bid:

Addendum No. 1 \_\_\_\_\_ Addendum No. 2 \_\_\_\_\_

Addendum No. 3 \_\_\_\_\_



4 Renovation Plan - Field House  
A2.4 Scale: 3/8" = 1'-0"

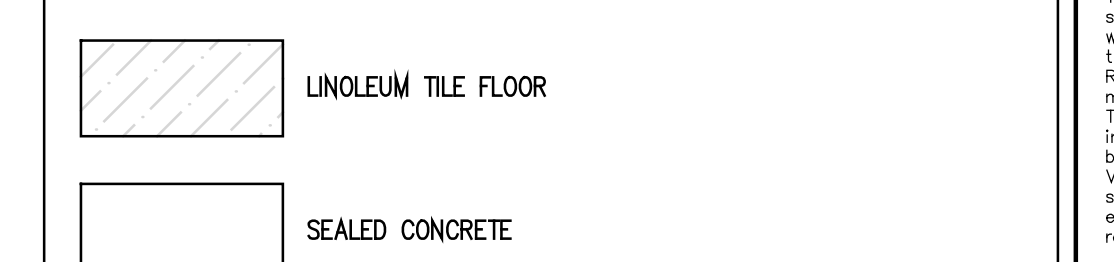
TOILET ACCESSORY SCHEDULE

NO.	DESCRIPTION
1	TOILET TISSUE (ROLL) DISPENSER - SURFACE MOUNTED - OWNER PROVIDED
2	PAPER TOWEL (FOLDED) DISPENSER - SURFACE MOUNTED - OWNER PROVIDED
3	SOAP DISPENSER, SURFACE MOUNTED - OWNER PROVIDED
4	42" LONG 1 1/4" Ø WALL MOUNTED GRAB BAR
5	36" LONG 1 1/4" Ø WALL MOUNTED GRAB BAR
6	18" LONG 1 1/4" Ø WALL MOUNTED GRAB BAR MOUNTED VERTICALLY
7	SANITARY NAPKIN DISPOSAL UNIT, SURFACE MOUNTED
8	MIRROR UNIT (18"X36"), SURFACE-MOUNTED
9	SHOWER CURTAIN ROD
10	SHOWER CURTAIN
11	TOWEL PIN
12	WARM AIR DRYER, SUFACE MOUNTED
13	UNDER LAVATORY GAURD

RENOVATION NOTES

- 1. PAINT WALLS. PROVIDE NEW RESILIENT WALL BASE.
- 2. PAINT CEILING. TAPE & FINISH CRACKS BEFORE PAINTING. (CEILINGS 10'-0" AFF, TYP)
- 3. TAPE & FINISH UNFINISHED GYP PANEL.
- 4. REPAIR & PAINT LOCKERS. ON METAL LOCKERS AT PERIMETER OF LOCKER RM #1 (112) WHERE SEATS EXIST, PERMANENTLY FASTEN SEATS TO LOWER BOX W/ BOLT THRU PADLOCK HASPS. WHERE SEATS ARE MISSING (APPROX 12 LOCKERS), PROVIDE 3/4" PLYWOOD SEATS W/ HARDWOOD EDGE BANDING, PROVIDE CLEATS WHERE REQ'D FOR SUPPORT. HARDWARE (ROBE HOOKS & RODS) CANNOT BE REMOVED. PAINT W/ RUSTOLEUM OR SIMILAR COATING. ON WOOD LOCKERS @ MIDDLE OF LOCKER ROOM #1 AND IN LOCKER ROOMS #2 & #3, PROVIDE 1 X 2 FASCIA TRIM WHERE MISSING (20 LF) & PAINT.
- 5. REHANG STALL DOORS:
  - 5.1 REHANG EXISTING 23.5" W DOOR PANEL W/ NEW CONTINUOUS HINGE ON NEW DOOR JAMB, PROVIDE NEW HINGE-SIDE FRAME (60" HI X 5.75" D), ATTACHED TO WALL W/ POST-INSTALLED ANCHORS @ SAME HT AFF AS LATCH SIDE FRAME OPPOSITE, (11"± AFF)
  - 5.2 PROVIDE NEW 23.5" DOOR PANEL TO FIT EXISTING FRAME. PROVIDE NEW HARDWARE SIMILAR TO THTA ON EXISTING STALL DOORS.
  - 5.3 REHANG EXISTING DOOR PANEL W/ NEW CONTINUOUS HINGE. PROVIDE MISSING LATCH & TRIM SIMILAR TO THAT ON EXISTING STALL DOORS.
- 6. POWER WASH CONCRETE FLOOR AND RESEAL.
- 7. INSTALL NEW SOLID SURFACING COUNTERTOP.
- 8. PROVIDE NEW RESILIENT TILE FLOOR AND RESILIENT WALL BASE.
- 9. PROVIDE MARBLE THRESHOLD AT EDGE OF EXISTING CERAMIC TILE FLOOR. CUT TILE AS REQ'D TO PROVIDE STRAIGHT EDGE.

FLOOR FINISH LEGEND



DEMOLITION NOTES

- 1. DEMOLISH COUNTERTOP AND BASE CABINETS.
- 2. REMOVE COUNTERTOP. RETAIN BASE CABINETS.
- 3. REMOVE EXISTING FLOORING AND WALL BASE.
- 4. REMOVE AND DISPOSE OF MIRRORS.
- 5. REMOVE AND DISPOSE OF WALL BASE.

Orange High School  
Phase 2 Renovations  
Orange County Schools  
500 Orange High School Road  
Hillsborough, North Carolina



no.	revisions
1.	ADDENDUM #2, 01-24-25

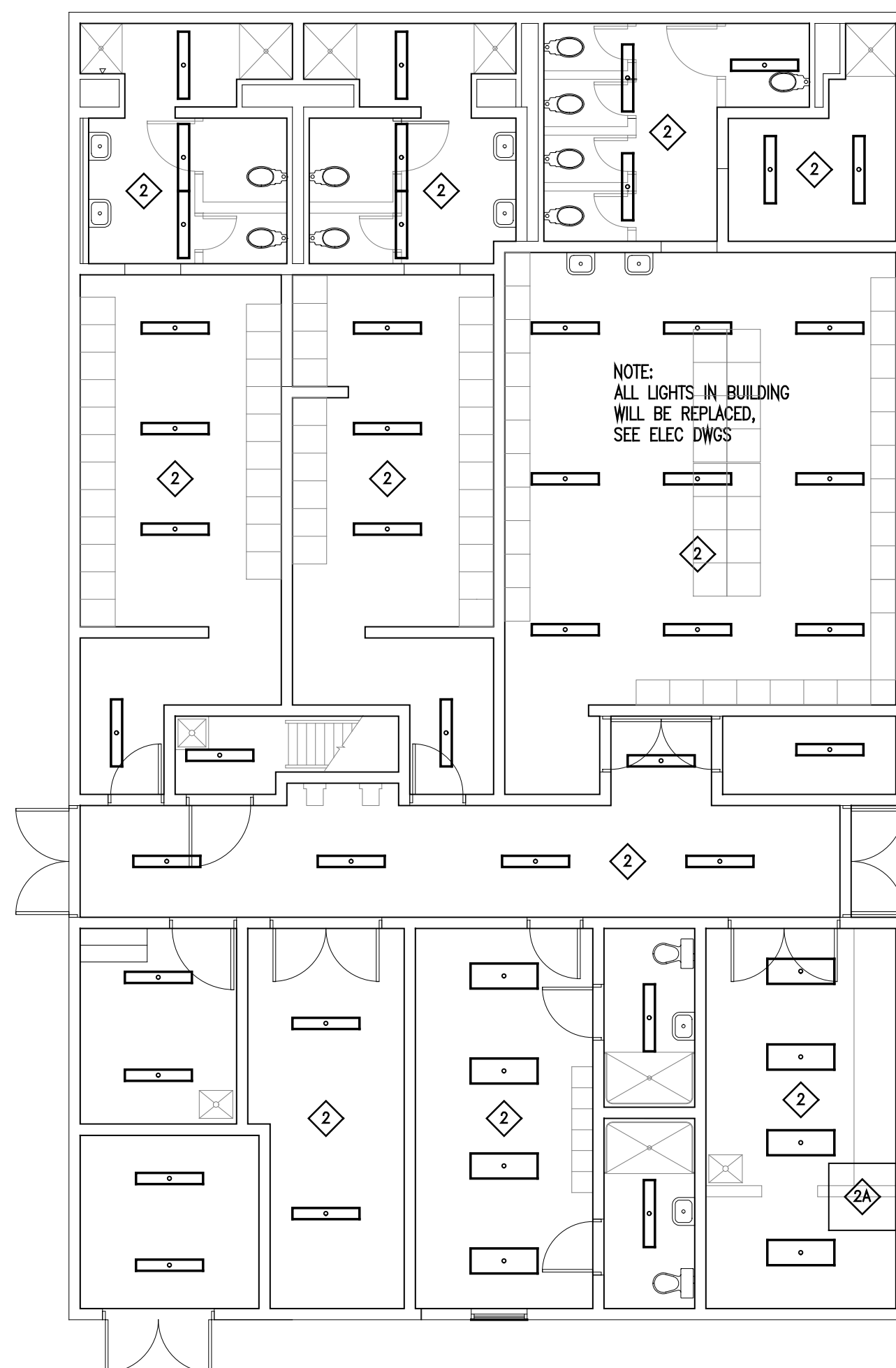
The use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Re-use, reproduction, or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remain in the architect without prejudice. It is to be returned upon request to the architect. Visual contact with those plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

drawn by: [signature] checked by: [signature]  
Field House Demolition and Renovation Plans

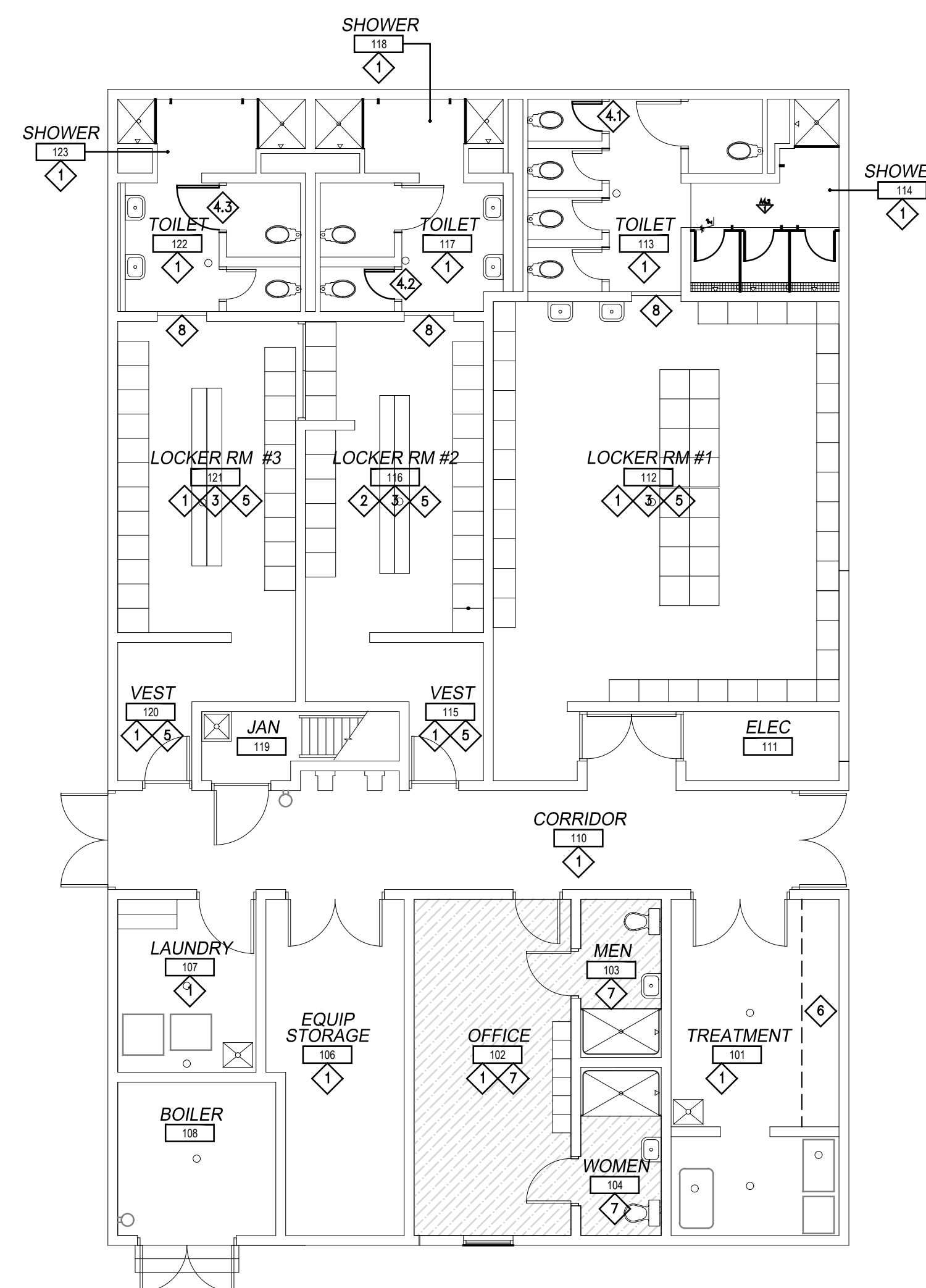
sheet  
**A2.4**

project no. 2231-OHS.2

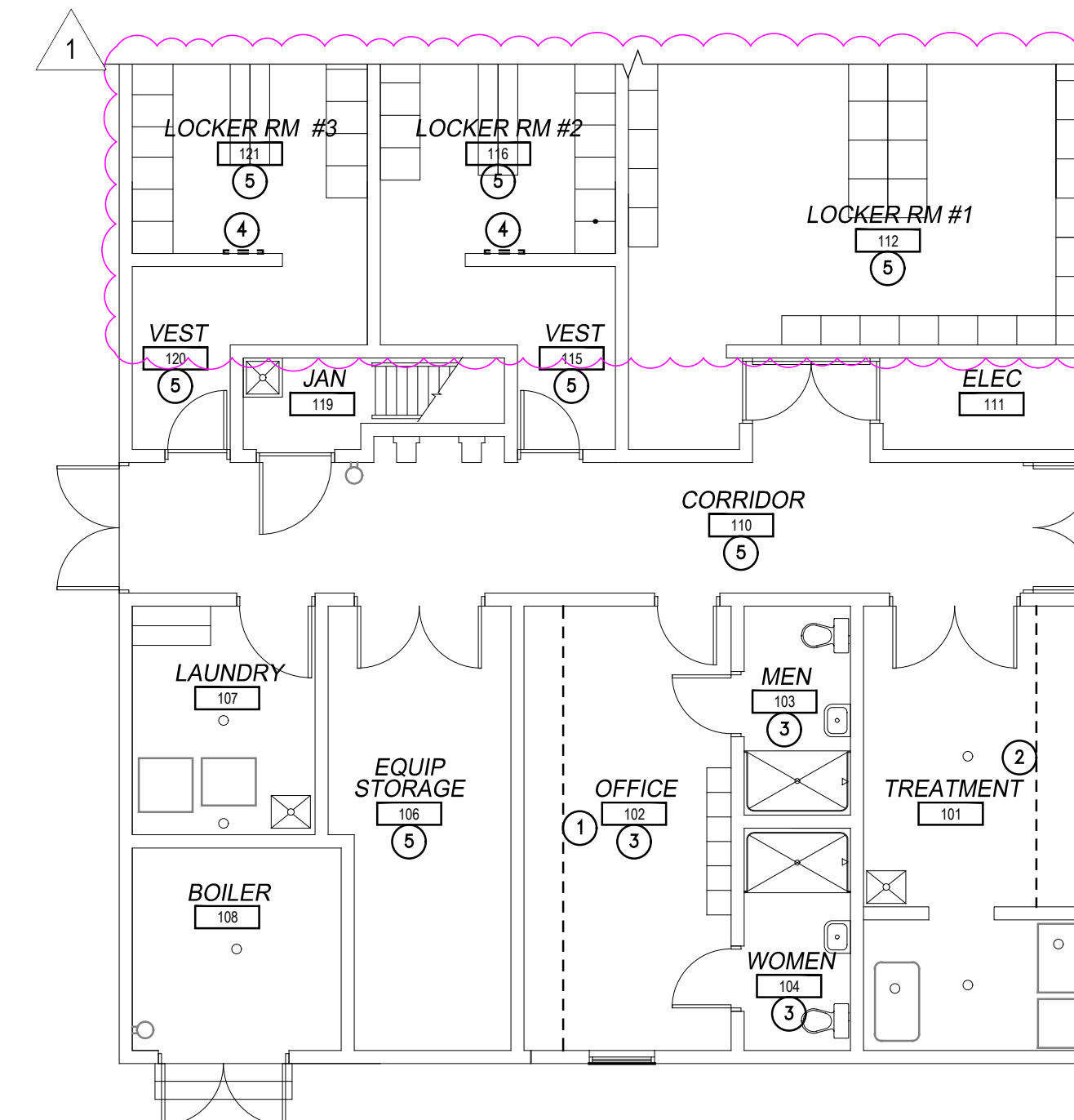
date 1/9/25



3 Reflected Ceiling Plan - Field House  
A2.4 Scale: 1/8" = 1'-0"



2 Renovation Plan - Field House  
A2.4 Scale: 1/8" = 1'-0"



1 Demolition Plan - Field House  
A2.4 Scale: 1/8" = 1'-0"