

DOCUMENT 009113 – ADDENDUM NO. 2

PART 1 - GENERAL

1.1 ADDENDUM

- A. Addendum No. 2.

1.2 PROJECT INFORMATION

- A. Project Name: Optimist Pool Bathhouse Repair
- B. Owner: City of Raleigh, Recreation and Cultural Resources/Design Development Division
- C. Architect: Osterlund Architects, PLLC.
- D. Architect Project Number: 2325.
- E. Date of Addendum: 3-1-2024.

1.3 NOTICE TO BIDDERS

- A. This Addendum is issued to all registered plan holders pursuant to the Instructions to Bidders and Conditions of the Contract. This Addendum serves to clarify, revise, and supersede information in the Project Manual, Drawings, and previously issued Addenda. Portions of the Addendum affecting the Contract Documents will be incorporated into the Contract by enumeration of the Addendum in the Owner/Contractor Agreement.
- B. The Bidder shall acknowledge receipt of this Addendum in the appropriate space on the Bid Form.
- C. The date for receipt of bids is unchanged by this addendum, all bids due according to Invitation to Bid to March 7, 2024 at 2 pm.

1.4 ATTACHMENTS

- A. This Addendum includes the following attached Documents and Specification Sections:
 - 1. Document 2325 Planholder List, dated 2-27-2024. (new)
 - 2. Document 2325 Bidder RFI Log, Dated 3-1-2024. (new)
 - 3. Document 2325 08 R2 I Sheets 03.01.24. (revised)
 - a. Revised Drawing D1-I201 to include all new mirrors instead of salvage and reinstall.
 - b. Revised Drawing A5- I204 to include all new mirrors instead of salvage and

- reinstall.
- c. Revised Door Schedule on I601 to show FRP frames.
- 4. Section 012100 FL-Allowances 2325 ADD 2 dated 3-1-2023. (new)
 - a. Added allowance for building permit and health department fees.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION (Not Used)

END OF DOCUMENT 009113

Optimist Pool Bathhouse Repair

Raleigh, NC

Architect's Project Number: 2325

Plan Holders List

Name	Company	Email	Phone
Mark Ferris	ACH Constructors	Markf@achconstructors.com	919-484-9550
Joshua Reeder	Salisbury & Moore Construction	joshua.reeder@salisburymoore.com	984-302-7838
Glenn Smith	Fasco	Fasco@fascoinc.com	252-522-0591
Tim Cothran	Riggs-Harrod Builders	tcothran@riggsharrod.com	919-687-0111
Nichole Canete	Dodge Construction network	nichole.canete@construction.com	844-326-3826 x 9281
Drew Wentz	H.B Wentz Associates, Inc	Aahwentz@hbwainc.net	919-871-0244
Caleb Pendergraph	Central Builders, Inc of Mebane	Caleb@centralbuildersinc.com	336-227-4551
Joe Ramey	Spectra Builders	joeramey@spectrabuilders.com	919-901-5024
Patrick Goodmon	Tower Heating and Air	patrick@towerheatingandair.com	919-755-1957
Wyatt Stevens	Scotia Construction	wyatt@scotiaconstruction.co	919-467-0293
Steven Richardson	Sigma	srichardson@sigmaes.com	919-840-9300
Declan Perkins	Central Builders, Inc of Mebane	Declan@centralbuilders.com	336-227-0610

Optimist Pool Bathhouse Repair

Raleigh, NC

Architect's Project Number: 2325

Bid Request for Interpretation Log

RFI No.	Date Received	Via	Description	Response	Response Date	Addendum No.
1	2/19/2024	Email	I201 detail D1 and I 204 Detail A5 both have a note showing existing to be reinstalled pointing to SP-22 (mirrors)	Mirrors are all to be new, purchased and installed by GC.	2/22/2024	2
2	2/19/2024	Email	I 601 shows SP-22 Mirrors as new and by GC.	Mirrors are all to be new, purchased and installed by GC.	2/22/2024	2
3	2/19/2024	Email	Are mirrors to be removed and reinstalled per elevation or new per schedule?	Mirrors are all to be new, purchased and installed by GC.	2/22/2024	2
4	2/21/2024	Pre-Bid Meeting	Are Bid Bonds or P&P Bonds Required?	Bid Bond is required over \$500,000; P&P is required over \$300,000	2/21/2024	2
5	2/21/2024	Pre-Bid Meeting	Will Conex be required during construction?	Yes, Conex will be required. Hallway will be available for storage but only after June 13, 2024	2/21/2024	2
6	2/21/2024	Pre-Bid Meeting	What is the age of the building? Is asbestos a concern?	Building was built in 2008, no hazmat required.	2/21/2024	2
7	2/21/2024	Pre-Bid Meeting	Are there any concerns for the smell of epoxy?	Please notify the owner when epoxy will be installed so staff can be made aware.	2/21/2024	2
8	2/21/2024	Pre-Bid Meeting	Are studs being taken down to the bare studs?	No, chase wall studs are to be demolished. Please pay attention to what is listed to be reinstalled in the contract documents.	2/21/2024	2
9	2/21/2024	Pre-Bid Meeting	is there a time available in which subcontractors may return for site visit?	Yes, Tuesday, February 27 from 1:45-3:30.	2/21/2024	2
10	2/21/2024	Pre-Bid Meeting	Will Temporary Partition be required?	Yes, see Section 015000 3.2 Installation, General Parg. C. Dust Partitions will be required to separate non work/ work areas.	2/21/2024	2
11	2/21/2024	Pre-Bid Meeting	Will permit fees be paid by contractor?	Yes, allowance per specifications, clarified in Addendum 2.	2/21/2024	2
12	2/21/2024	Pre-Bid Meeting	Can we receive photos of womens restroom, shower partitions?	Yes, included in addendum 1.	2/21/2024	2
13	2/21/2024	Pre-Bid Meeting	Is there any fire alarm relocation?	No, remains the same.	2/21/2024	2
14	2-21-2024	Pre-Bid Meeting	Is there any sprinkler work?	No, remains the same.	2/21/2024	2

15	2/21/2024 Pre-Bid Meeting	<p>What is existing concrete finish? On the schedule you have new HM door frames, and the existing aluminum frames and doors are in good condition. Why do we not salvage and reuse aluminum doors, frames and hardware? Or if you want HM frames, would you consider making them galvanized due to it being a wet area?</p>	<p>Existing drawings indicate "concrete sealer" at locker room areas, no other information included. See spec section 090561 Section 3.1 for concrete slab prep and 096723 Section 3.1 for epoxy prep.</p>	2/21/2024	2
16	2/27/2024 Email	<p>On the plumbing drawing, it is very clearly spelled out what is to happen to floor drains, insulation, shower heads, urinals and toilets. Are the plumbing pipes... ie vents, drain lines above ground, and water lines.. to be demolished and plumbed in again? On P100, Note 9 talks of removing pipe insulation, but makes no mention of the pipe itself, and the plumbing lines on the demo are dashed, but so are the ones on the new plumbing plan on P200. Can you please clarify if the hot and cold water, hot water returns, and drains/vents are to be demolish and installed new?</p>	<p>Frames should be FRP, see revised drawing on I601.</p>	3/1/2024	2
17	2/27/2024 Email	<p>On the plumbing drawing, it is very clearly spelled out what is to happen to floor drains, insulation, shower heads, urinals and toilets. Are the plumbing pipes... ie vents, drain lines above ground, and water lines.. to be demolished and plumbed in again? On P100, Note 9 talks of removing pipe insulation, but makes no mention of the pipe itself, and the plumbing lines on the demo are dashed, but so are the ones on the new plumbing plan on P200. Can you please clarify if the hot and cold water, hot water returns, and drains/vents are to be demolish and installed new?</p>	<p>As you have stated per Note 9 on the Demo Plan and Note 10 on the New Plan, Remove insulation only, and re-insulate. The point of disconnect and reconnect is the extent of the insulation removal and reinstallation.</p> <p>Removal, and reinstallation of all plumbing fixtures are noted as well.</p> <p>Notes also cover the protection and temporary support of pipe during all phases of construction.</p>	2/27/2024	2

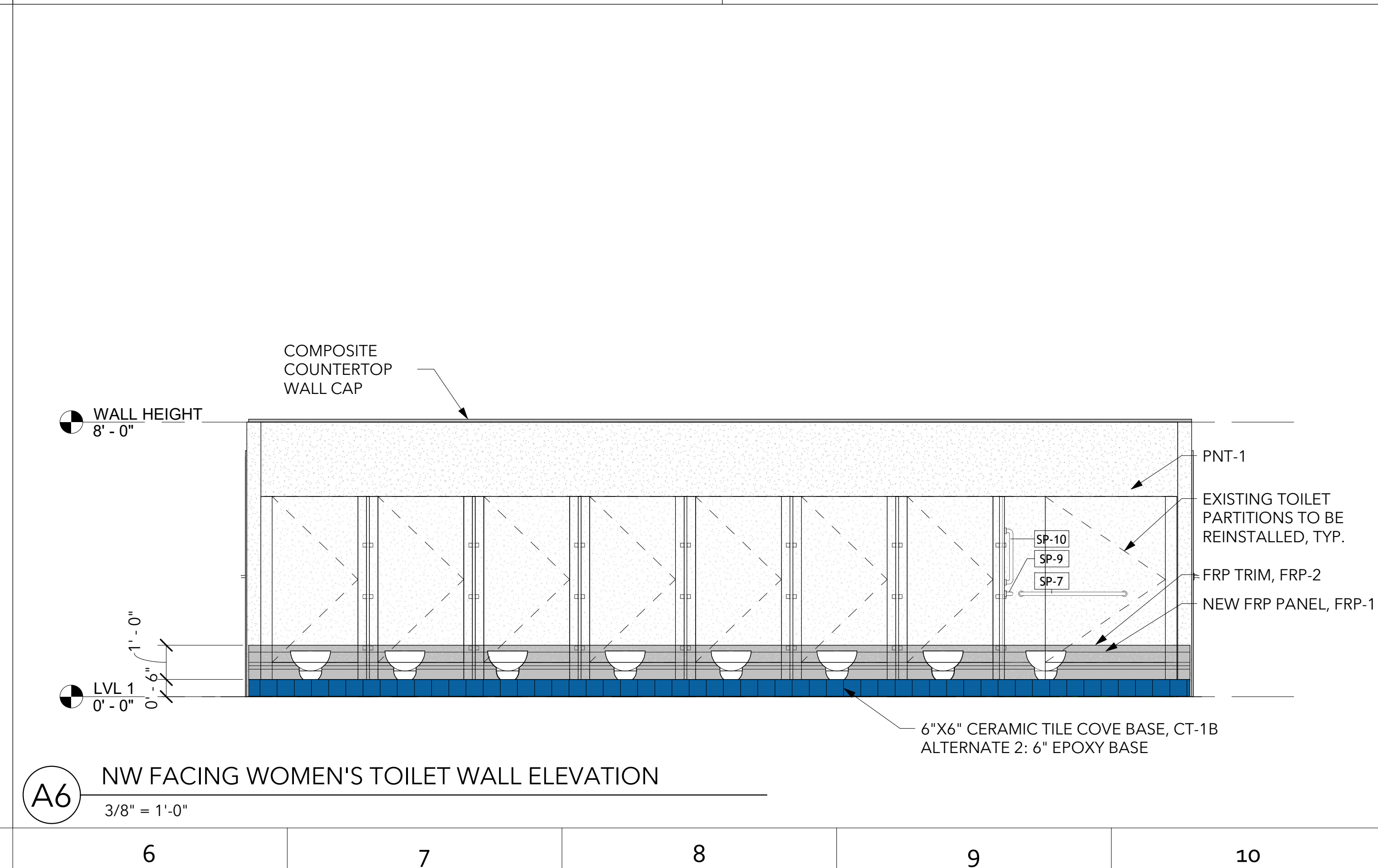
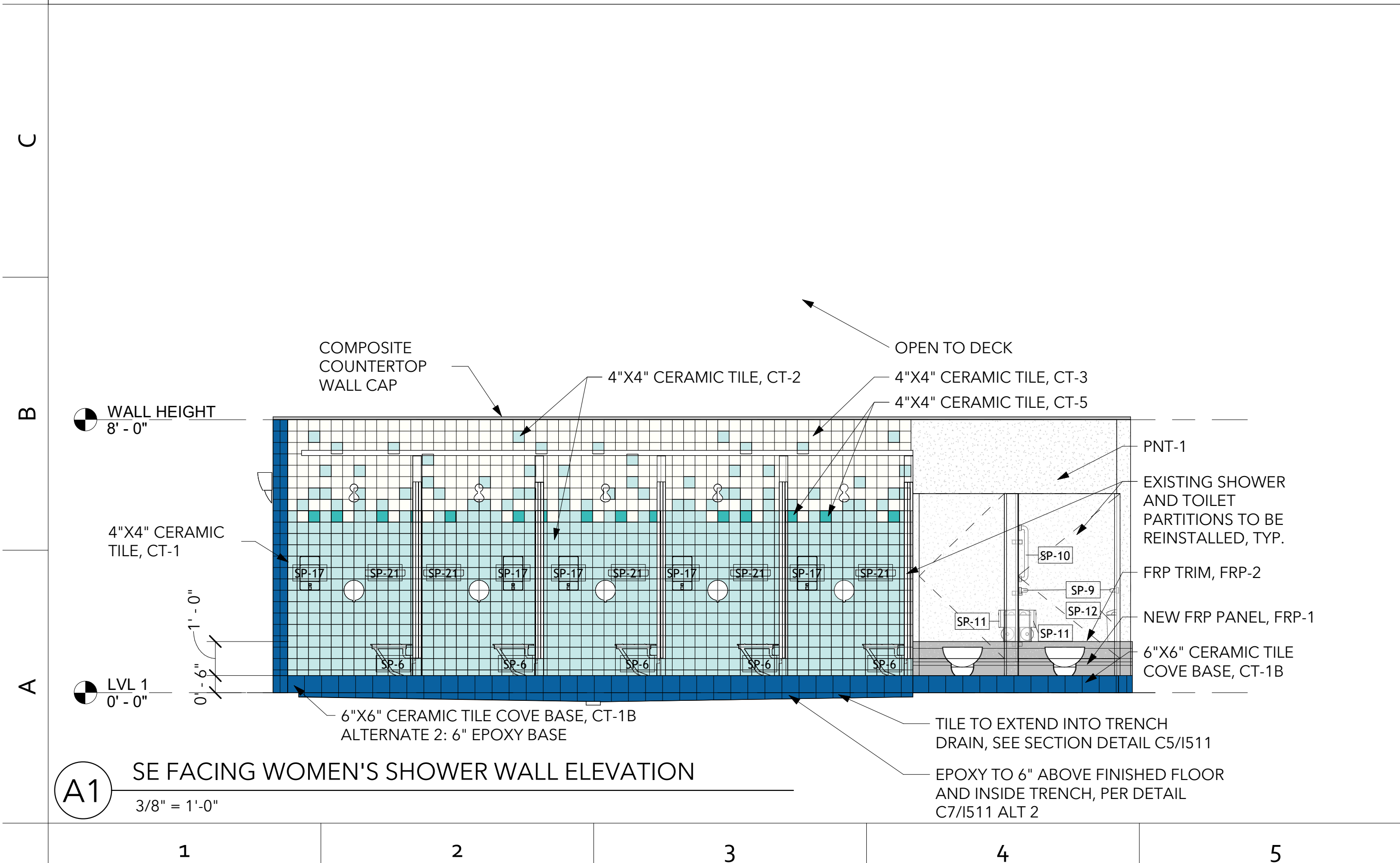
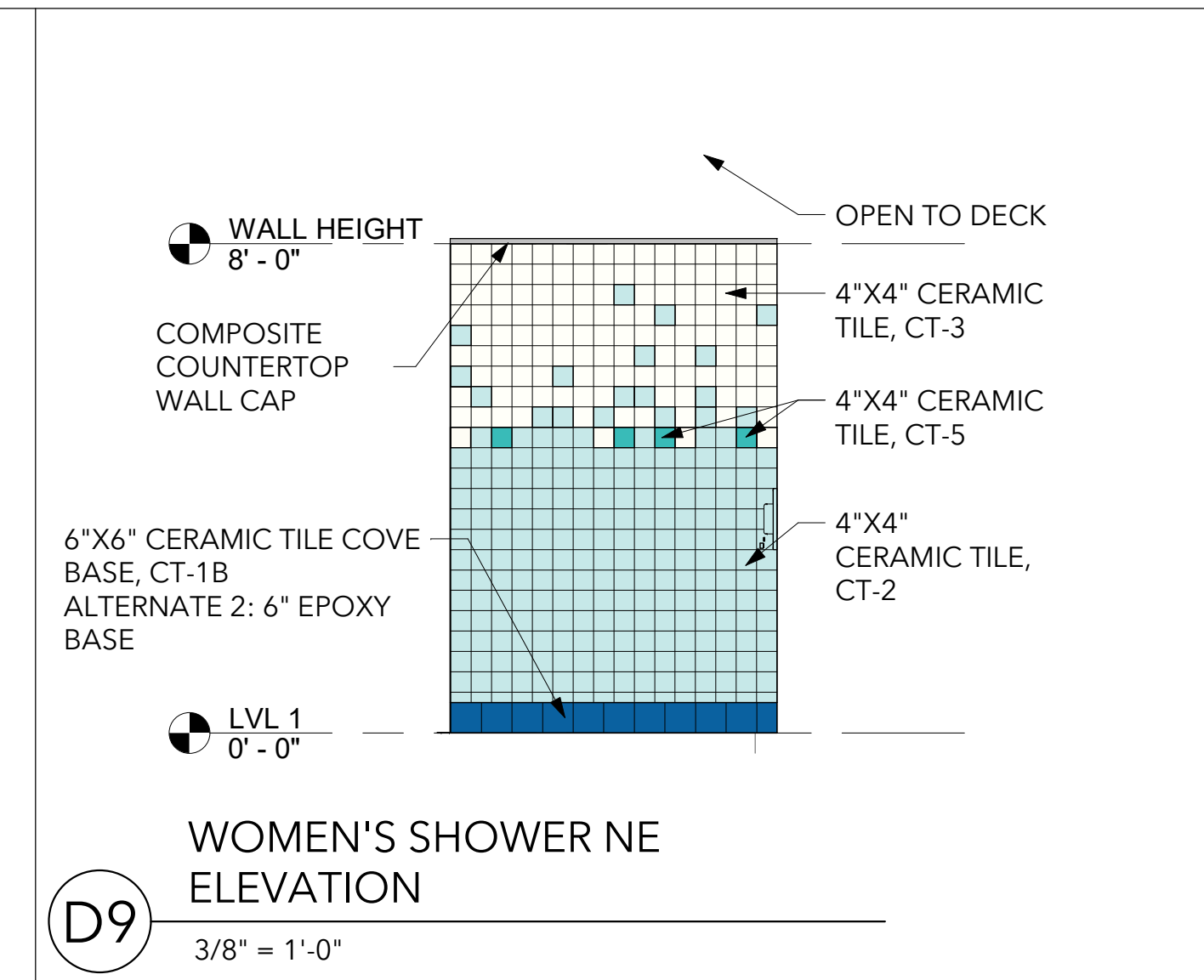
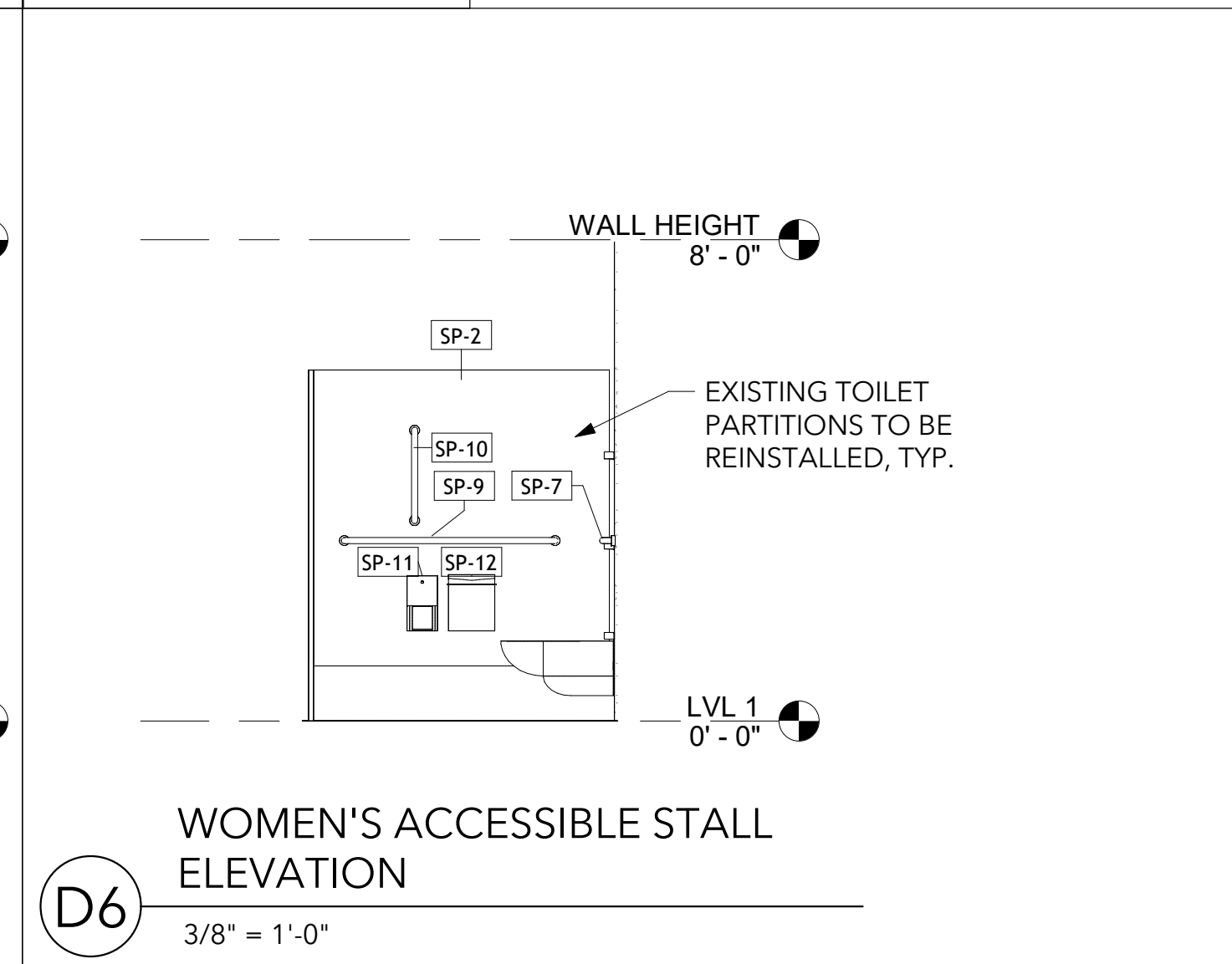
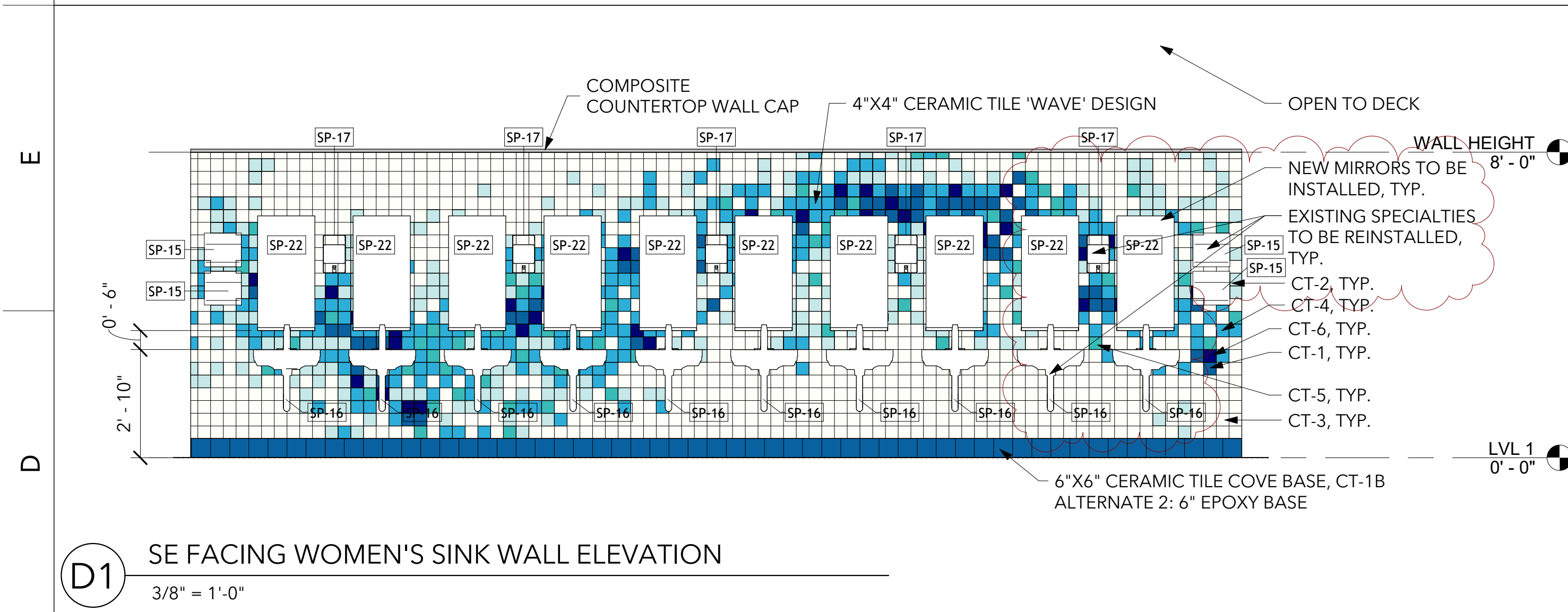
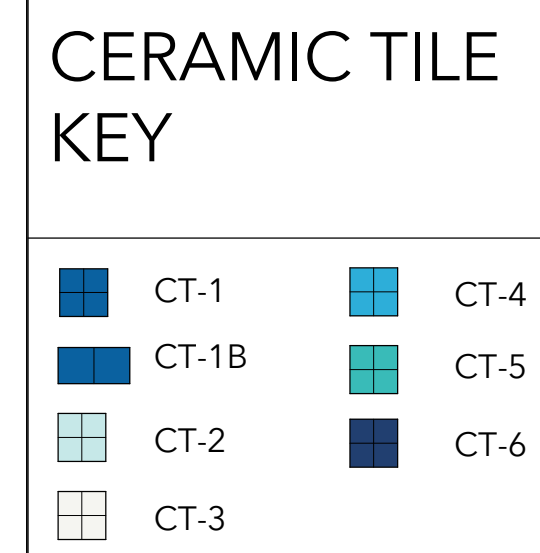
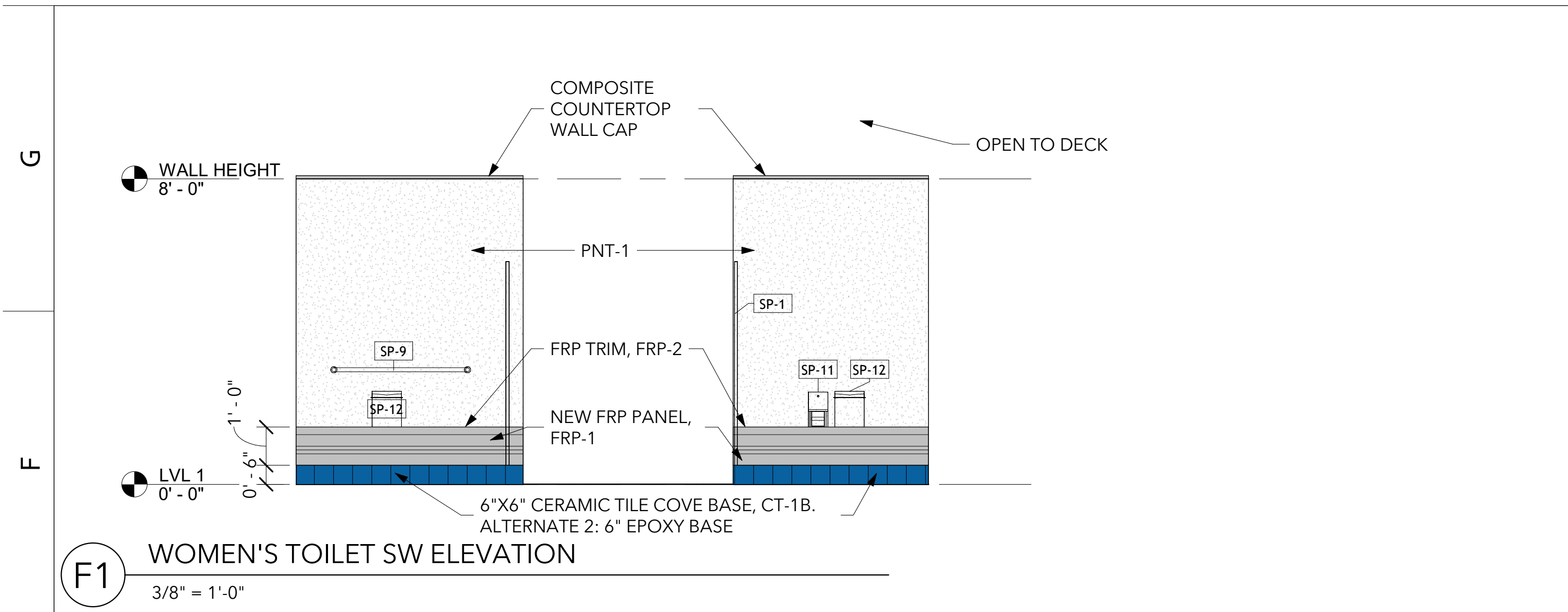
SEALS:



ISSUE: CONSTRUCTION
DATE: 3/1/2024
DRAWN BY: SNC
REVISIONS:

NO.	BID COMMENTS	DATE
2		03/01/2024

INTERIOR ELEVATIONS-
WOMEN'S LOCKER ROOM



3/1/2024 1:56:49 PM ARCH D (36.00 x 24.00 Inches), 1:1
 C:\Users\sara\Documents\2325 Optimist Pool Bathroom Repairs_sarammgne.rvt
 (C) 2023 OSTERLUND ARCHITECTS, PLLC

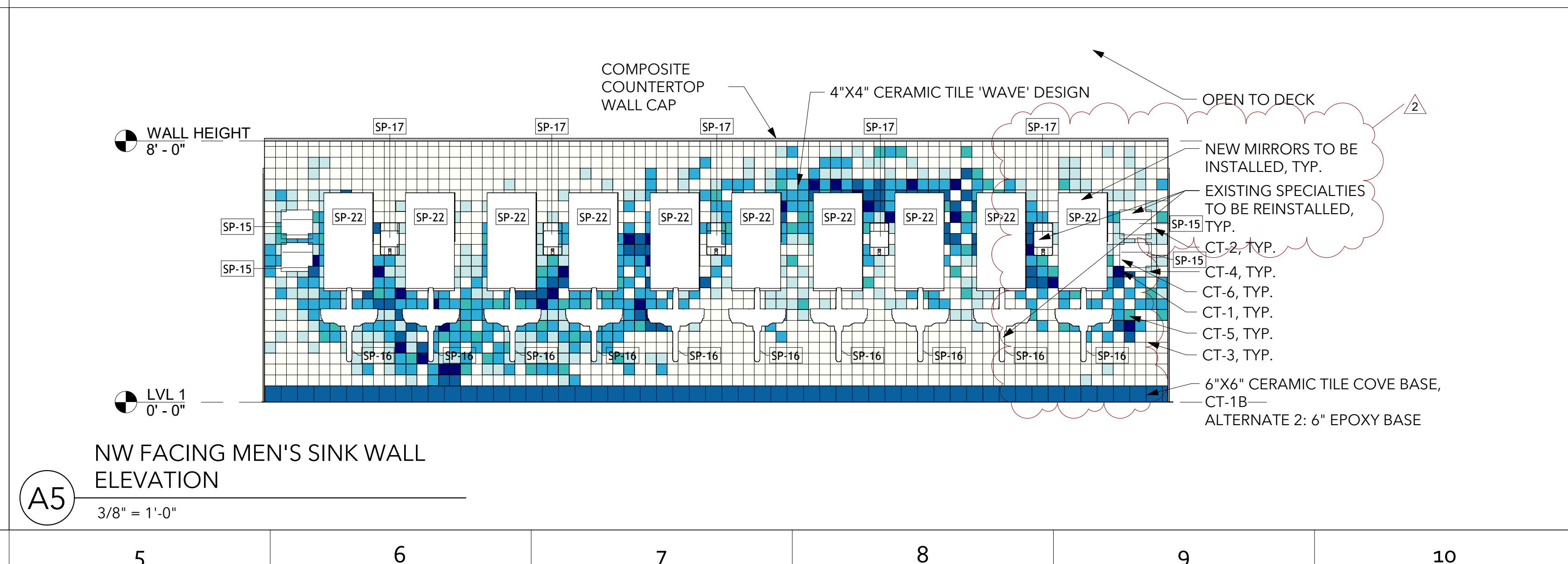
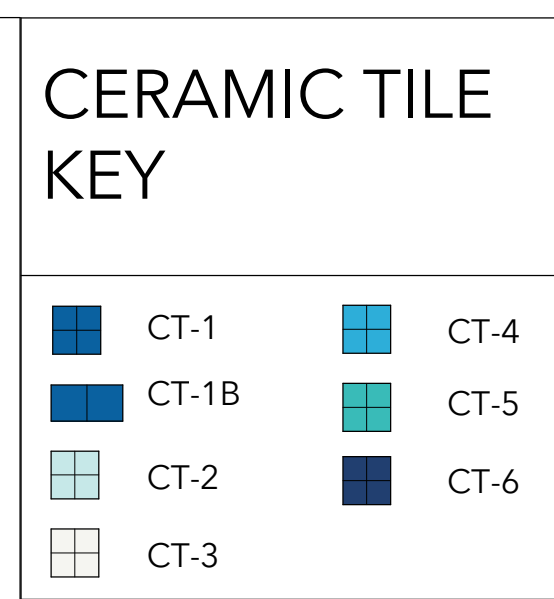
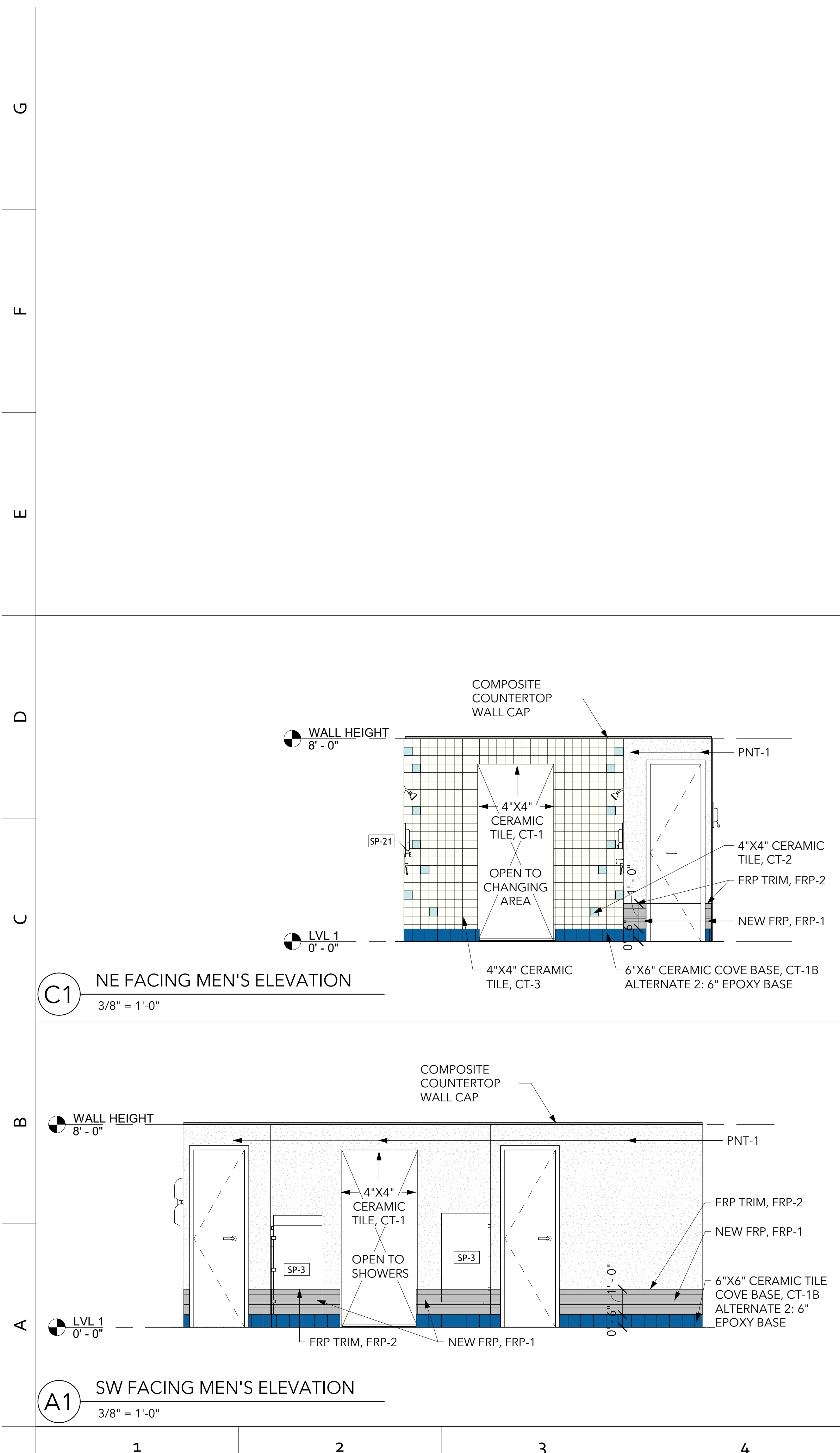
(C) 2023 OSTERLUND ARCHITECTS, PLLC
 C:\Users\sara\Documents\23225 Optimist Pool Bathroom Repairs_saraMMGNE.rvt
 3/1/2024 1:56:53 PM ARCH D (36.00 x 24.00 Inches), 1:1

5 W Hargett Street 310
 Raleigh, NC 27601
 (919) 838-9337
 osterlundarchitects.com

CONSULTANTS:
 SIGMA

PROJECT No.: 2325

OPTIMIST POOL BATHHOUSE
REPAIRS
 5902 WHITTIER DR. RALEIGH, NC 27609
CITY OF RALEIGH
 RALEIGH, NC



SEALS:

OSTERLUND ARCHITECTS, PLLC
 REGISTERED INTERIOR DESIGN COMPANY
CERT. NO. 1035
 NORTH CAROLINA

ASHLEY SESSOMS
 SEAL 267
REGISTERED INTERIOR DESIGNER
Ashley Sessoms
 NORTH CAROLINA 03/03/2024

ISSUE: CONSTRUCTION
 DATE: 3/1/2024
 DRAWN BY: SNC
 REVISIONS:

NO.	BID COMMENTS	DATE
2		03/01/2024

INTERIOR ELEVATIONS- MEN'S LOCKER ROOM

5 W Hargett Street 310
Raleigh, NC 27601
(919) 838-9337
osterlundarchitects.com

CONSULTANTS:
SIGMA

PROJECT No.: 2325

G

F

E

D

C

B

A

DOOR AND FRAME SCHEDULE

MARK	DOOR			MATL	EL	GLZ	FRAME					FIRE RATING	HARDWARE		NOTES	
	SIZE						HEAD	JAMB	SILL	SET NO.	KEYSIDE RM NO					
	W	HT	THK													
D104A	2' - 0"	7' - 0"	0' - 1"	FRP	D1	-	FRP	F1	-	H1	J1	-	-	A	104E	
D104B	2' - 0"	7' - 0"	0' - 1"	FRP	D1	-	FRP	F1	-	H1	J1	-	-	A	104E	
D104C	2' - 0"	7' - 0"	0' - 1"	FRP	D1	-	FRP	F1	-	H1	J1	-	-	A	104F	
D104D	2' - 0"	7' - 0"	0' - 1"	FRP	D1	-	FRP	F1	-	H1	J1	-	-	A	104F	
D106A	2' - 0"	7' - 0"	0' - 1"	FRP	D1	-	FRP	F1	-	H1	J1	-	-	A	106E	
D106B	2' - 0"	7' - 0"	0' - 1"	FRP	D1	-	FRP	F1	-	H1	J1	-	-	A	106F	
D106C	2' - 0"	7' - 0"	0' - 1"	FRP	D1	-	FRP	F1	-	H1	J1	-	-	A	106F	

ROOM FINISH SCHEDULE

ROOM NO	ROOM NAME	FLOOR	BASE	WALLS				NOTES
				N	E	S	W	
104A	SINKS	EXISTING CONC / ALT 2: EPOXY	CT-1B / ALT 2: EPOXY COVE	PNT-2	-	CERAMIC TILE	-	SEE ELEVATION D1/I201 FOR TILE DESIGN
104B	SHOWERS	EXISTING CONC / ALT 2: EPOXY	CT-1B / ALT 2: EPOXY COVE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	SEE ELEVATIONS ON I201 AND I202 FOR TILE DESIGNS
104C	TOILETS	EXISTING CONC / ALT 2: EPOXY	CT-1B / ALT 2: EPOXY COVE	PNT-1, FRP-1	PNT-1, FRP-1	-	PNT-1, FRP-1	
104D	CHANGING AREA	EXISTING CONC / ALT 2: EPOXY	SEE FINISH PLAN ON I411	PNT-2	PNT-2	-	-	
104E	MECH. CHASE	EXISTING CONCRETE	-	-	-	-	-	
104F	MECH. CHASE	EXISTING CONCRETE	-	-	-	-	-	
105	CUST.	EXISTING CONCRETE	-	-	-	-	-	
106A	SINKS	EXISTING CONC / ALT 2: EPOXY	CT-1B / ALT 2: EPOXY COVE	CERAMIC TILE	-	PNT-3	-	SEE ELEVATION A5/I204 FOR TILE DESIGN
106B	SHOWERS	EXISTING CONC / ALT 2: EPOXY	CT-1B / ALT 2: EPOXY COVE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	CERAMIC TILE	SEE ELEVATIONS ON I203 AND I204 FOR TILE DESIGN
106C	TOILETS	EXISTING CONC / ALT 2: EPOXY	CT-1B / ALT 2: EPOXY COVE	PNT-1	PNT-1, FRP-1	PNT-1, FRP-1	PNT-1, FRP-1	
106D	CHANGING AREA	EXISTING CONC / ALT 2: EPOXY	SEE FINISH PLAN ON I412	-	PNT-3	PNT-3	-	
106E	MECH. CHASE	EXISTING CONCRETE	-	-	-	-	-	
106F	MECH. CHASE	EXISTING CONCRETE	-	-	-	-	-	
107	CUST.	EXISTING CONCRETE	-	-	-	-	-	

SPECIALTY EQUIPMENT SCHEDULE

TYPE MARK	NAME	PROVIDED BY	INSTALLED BY
SP-1	36" x 56" TOILET COMPARTMENT	SALVAGED	GC
SP-1.1	34" x 66" TOILET COMPARTMENT	SALVAGED	GC
SP-1.2	34" x 66" OUT-SWING TOILET COMPARTMENT	SALVAGED	GC
SP-1.3	34"X60" TOILET COMPARTMENT	SALVAGED	GC
SP-1.4	34"X67" TOILET COMPARTMENT	SALVAGED	GC
SP-1.5	38" X 60" TOILET COMPARTMENT	SALVAGED	GC
SP-1.6	36" x 66" OUT-SWING TOILET COMPARTMENT	SALVAGED	GC
SP-1.7	37" x 66" TOILET COMPARTMENT	SALVAGED	GC
SP-2	60" x 60" TOILET COMPARTMENT	SALVAGED	GC
SP-3	23" x 42" URINAL SCREEN	SALVAGED	GC
SP-4	60" x 67" TOILET COMPARTMENT	SALVAGED	GC
SP-5	6' L SHOWER PARTITION	SALVAGED	GC
SP-6	ACCESSIBLE SHOWER SEAT	SALVAGED	GC
SP-7	36" HORIZONTAL BACK GRAB BAR	SALVAGED	GC
SP-9	42" SIDE GRAB BAR	SALVAGED	GC
SP-10	NEW 18" VERTICAL GRAB BAR	GC	GC
SP-11	TOILET PAPER DISPENSER	SALVAGED	GC
SP-12	NEW SANITARY NAPKIN DISPOSAL	GC	GC
SP-13	L SHAPED GRAB BAR	SALVAGED	GC
SP-14	BABY CHANGING STATION	EXIST. TO REMAIN	GC
SP-15	HAND DRYER	SALVAGED	GC
SP-16	INSULATED DRAIN PIPE	SALVAGED	GC
SP-17	SOAP DISPENSER	SALVAGED	GC
SP-18	PAPER TOWEL DISPENSER	EXIST. TO REMAIN	EXIS. TO REMAIN
SP-21	METAL SHELF 14" L X 2"H X 3 3/8"D	GC	GC
SP-22	NEW MIRROR W/ SHELF 18"X36"	GC	GC

OPTIMIST POOL BATHHOUSE
REPAIRS
5902 WHITTIER DR. RALEIGH, NC 27609
CITY OF RALEIGH
RALEIGH, NC

SEALS:



ISSUE: CONSTRUCTION
DATE: 3/1/2024
DRAWN BY: SNC
REVISIONS:

NO.	BID COMMENTS	DATE
2		03/01/2024

INTERIOR SCHEDULES

SECTION 012100 - ALLOWANCES

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements governing allowances.
- B. Types of allowances include the following:
 - 1. Lump-sum allowances.
- C. Related Requirements:
 - 1. Section 014000 "Quality Requirements" for procedures governing the use of allowances for field testing by an independent testing agency.

1.3 DEFINITIONS

- A. Allowance: A quantity of work or dollar amount included in the Contract, established in lieu of additional requirements, used to defer selection of actual materials and equipment to a later date when direction will be provided to Contractor. If necessary, additional requirements will be issued by Change Order.

1.4 SELECTION AND PURCHASE

- A. At the earliest practical date after award of the Contract, advise Architect of the date when final selection, or purchase and delivery, of each product or system described by an allowance must be completed by the Owner to avoid delaying the Work.
- B. At Architect's request, obtain proposals for each allowance for use in making final selections. Include recommendations that are relevant to performing the Work.
- C. Purchase products and systems selected by Architect from the designated supplier.

1.5 ACTION SUBMITTALS

- A. Submit proposals for purchase of products or systems included in allowances in the form specified for Change Orders.

1.6 INFORMATIONAL SUBMITTALS

- A. Submit invoices or delivery slips to show actual quantities of materials delivered to the site for use in fulfillment of each allowance.
- B. Submit time sheets and other documentation to show labor time and cost for installation of allowance items that include installation as part of the allowance.
- C. Coordinate and process submittals for allowance items in same manner as for other portions of the Work.

1.7 LUMP-SUM ALLOWANCES

- A. Allowance shall include cost to Contractor of specific products and materials ordered by Owner or selected by Architect under allowance and shall include taxes, freight, and delivery to Project site.
- B. Unless otherwise indicated, Contractor's costs for receiving and handling at Project site, labor, installation, overhead and profit, and similar costs related to products and materials ordered by Owner or selected by Architect under allowance shall be included as part of the Contract Sum and not part of the allowance.
- C. Unused Materials: Return unused materials purchased under an allowance to manufacturer or supplier for credit to Owner, after installation has been completed and accepted.
 - 1. If requested by Architect, retain and prepare unused material for storage by Owner. Deliver unused material to Owner's storage space as directed.

1.8 ADJUSTMENT OF ALLOWANCES

- A. Allowance Adjustment: To adjust allowance amounts, prepare a Change Order proposal based on the difference between purchase amount and the allowance, multiplied by final measurement of work-in-place where applicable. If applicable, include reasonable allowances for cutting losses, tolerances, mixing wastes, normal product imperfections, required maintenance materials, and similar margins.
 - 1. Include installation costs in purchase amount only where indicated as part of the allowance.
 - 2. If requested, prepare explanation and documentation to substantiate distribution of overhead costs and other markups.
 - 3. Submit substantiation of a change in scope of Work, if any, claimed in Change Orders related to unit-cost allowances.
 - 4. Owner reserves the right to establish the quantity of work-in-place by independent quantity survey, measure, or count.
- B. Submit claims for increased costs due to a change in the scope or nature of the allowance described in the Contract Documents, whether for the purchase order amount or Contractor's handling, labor, installation, overhead, and profit.

1. Do not include Contractor's or subcontractor's indirect expense in the Change Order cost amount unless it is clearly shown that the nature or extent of Work has changed from what could have been foreseen from information in the Contract Documents.
2. No change to Contractor's indirect expense is permitted for selection of higher- or lower-priced materials or systems of the same scope and nature as originally indicated.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine products covered by an allowance promptly on delivery for damage or defects. Return damaged or defective products to manufacturer for replacement.

3.2 PREPARATION

- A. Coordinate materials and their installation for each allowance with related materials and installations to ensure that each allowance item is completely integrated and interfaced with related work.

3.3 SCHEDULE OF ALLOWANCES

- A. Allowance No. 1: Lump-Sum Allowance: Include the sum of \$3,000 for building permitting and health department fees.

END OF SECTION 012100