

ADDENDUM NO. 1

NCSU Renovations to the Don Ellis Building

SCO ID# 19-21547
NCSU ID# 201920037
SFK PROJECT NO. 1368-20

SKINNER FARLOW KIRWAN ARCHITECTURE
RALEIGH, NORTH CAROLINA

December 5, 2023

NOTICE TO CONTRACTORS:

The Contract Documents for the above-referenced Project are modified as set forth in this Addendum. The original Contract Documents and any previously issued addenda remain in full force and effect, except as modified by this Addendum, which is hereby made part of the Contract Documents. Bidder shall take this Addendum into consideration when preparing and submitting a bid.

All principal contractors shall be responsible for seeing that their subcontractors are properly apprised of the contents of this Addendum. All contractors shall acknowledge receipt of the Addendum.

GENERAL

Bid Submittal Deadline - unchanged

SPECIFICATIONS

1. Bid Form: Replace Bid Form with the attached for corrections to preferred brand alternates.
2. Section 012300 “ Alternates” : Part 3, paragraph 3.1, sub-paragraph H. add, Von Duprin to the list of preferred brands in the alternate. And sub- item 2 add Von Duprin panic hardware to the paragraph description

3. Section 142400 “ Oil Hydraulic Elevators”: Part 2, paragraph 2.3.B item 13. **Replace** “does not exceed 15 horsepower” with **“does not exceed 20 horsepower”**

DRAWINGS

1. Sheet D-100: **Replace** with sheet D-100 attached
 - a. Additional notes are added to the sheet
2. Sheet A-100: **Replace** with sheet A-100 attached
 - a. The door location for the data closet is changed.
3. Sheet A-101: **Replace** with sheet A-101 attached
 - a. The door location for the data closet is changed.
4. Sheet A-102: **Replace** with sheet A-102 attached
 - a. The data closet is changed.
5. Sheet A-110: **Replace** with sheet A-110 attached
 - a. The door location for the data closet is changed.
6. Sheet A-111: **Replace** with sheet A-111 attached
 - a. The door location for the data closet is changed.
7. Sheet A-200: **Replace** with sheet A-200 attached
 - a. Side elevation at mechanical electrical room provided
8. Sheet A-700 : **Replace** with sheet A-700 attached
 - a. Accent walls indicated
9. Sheet L-100; **Replace** with sheet L-100 attached.
 - a. Notes revised under property data
10. Sheet L-200: **Replace** with sheet L-200 attached.
 - a. Bike racks added to plans with notes
11. Sheet L-300: **Replace** with sheet L-300 attached
 - a. Area of disturbance adjusted
12. Sheet L-400: **Replace** with sheet L-400 attached
 - a. Planting bed adjusted
13. PD-201: Clarification: Refer to general note #1 for scope of work for the demolition and capping of all existing floor drains and floor openings related to the existing plumbing. All floors shall also be patched as noted. This is in reference to all existing floor drains and floor openings that are no longer in use.

14. P-202: Revise: Keyed note #6 shall be revised to read **“THE PLUMBING CONTRACTOR SHALL CONNECT AND ROUTE THE NEW 4” SANITARY PIPE TO THE EXISTING MANHOLE.”**

Clarifications

No.	Question / Issue	Response
1	Please verify what is proposed to be done if lead based paint is on the walls	The contractor is to be familiar with all information included in the hazardous materials reports regarding items indicated in the full set of construction documents whether to be removed, surfaces to be prepared for new paint or paint to be removed and intact paint to be encapsulated with new paint.
2	Would a dual single stage holeless jack system be acceptable for this project?	No, this was vetted during design. NCSU requires a holed hydraulic elevator for low rise buildings as a campus standard.
3	Overhead power	The overhead power from the transformer will need to be replaced. These changes will be included in a future addendum.
4	Paint Schedule	An updated paint schedule with accent colors and field colors will be provided in a future addendum

END OF ADDENDUM NO. 1

FORM OF PROPOSAL

Don Ellis Building Renovation

Contract: General Construction

North Carolina State University

Bidder: _____

SCO ID: # 19-21547-02A / NCSU ID: # 201920037

Date: _____

The undersigned, as bidder, hereby declares that the only person or persons interested in this proposal as principal or principals is or are named herein and that no other person than herein mentioned has any interest in this proposal or in the contract to be entered into; that this proposal is made without connection with any other person, company or parties making a bid or proposal; and that it is in all respects fair and in good faith without collusion or fraud. The bidder further declares that he has examined the site of the work and the contract documents relative thereto, and has read all special provisions furnished prior to the opening of bids; that he has satisfied himself relative to the work to be performed. The bidder further declares that he and his subcontractors have fully complied with NCGS 64, Article 2 in regards to E-Verification as required by Section 2.(c) of Session Law 2013-418, codified as N.C. Gen. Stat. § 143-129(j).

The Bidder proposes and agrees if this proposal is accepted to contract with the

North Carolina State University

in the form of contract specified below, to furnish all necessary materials, equipment, machinery, tools, apparatus, means of transportation and labor necessary to complete the construction of

Don Ellis Building Renovation

in full in complete accordance with the plans, specifications and contract documents, to the full and entire satisfaction of the State of North Carolina, and

North Carolina State University, and Skinner Farlow Kirwan Architecture.

with a definite understanding that no money will be allowed for extra work except as set forth in the General Conditions and the contract documents, for the sum of:

SINGLE PRIME CONTRACT:

Base Bid:

_____ Dollars(\$)

General Subcontractor:

Plumbing Subcontractor:

_____ Lic _____

_____ Lic _____

Mechanical Subcontractor:

Electrical Subcontractor:

_____ Lic _____

_____ Lic _____

GS143-128(d) requires all single prime bidders to identify their subcontractors for the above subdivisions of work. A contractor whose bid is accepted shall not substitute any person as subcontractor in the place of the subcontractor listed in the original bid, except (i) if the listed subcontractor's bid is later determined by the contractor to be non-responsible or non-responsive or the listed subcontractor refuses to enter into a contract for the complete performance of the bid work, or (ii) with the approval of the awarding authority for good cause shown by the contractor.

ALTERNATES:

Should any of the alternates as described in the contract documents be accepted, the amount written below shall be the amount to be "added to" or "deducted from" the base bid. (Strike out "Add" or "Deduct" as appropriate.)

GENERAL CONTRACT:

Alternate No. 1 **Full Build-out of 2nd floor Ceilings and Associated Lighting and HVAC 2nd Floor**
(Add) (Deduct) _____ Dollars(\$)

Alternate No. 2 **Carpet 2nd Floor**
(Add) (Deduct) _____ Dollars(\$)

Alternate No. 3 **Additional Walls and Doors on 2nd Floor**
(Add) (Deduct) _____ Dollars(\$)

Alternate No. 4 **New Entry Vestibule & Additional Exterior Flatwork per Drawings**
(Add) (Deduct) _____ Dollars(\$)

Alternate No. 5 **Loading Dock Canopy**
(Add) (Deduct) _____ Dollars(\$)

Alternate No. 6 **Free Standing Pre-fabricated Aluminum Canopy**
(Add) (Deduct) _____ Dollars(\$)

Alternate No. 7 **2nd Boiler**
(Add) (Deduct) _____ Dollars(\$)

Alternate No. 8 **Door Hardware by LCN, Von Duprin and Best (Preferred Brands)**
(Add) (Deduct) _____ Dollars(\$)

Alternate No. 9 **Fire Alarm Dialers by Firelite (Preferred Brand)**
(Add) (Deduct) _____ Dollars(\$)

Alternate No. 10 **Elevator Controls by MRE and Phone by Gaintronics (Preferred Brand)**
(Add) (Deduct) _____ Dollars(\$)

Alternate No. 11 **Sanitary Napkin Disposal Unit by Bobrick (Preferred Brand)**
(Add) (Deduct) _____ Dollars(\$)

UNIT PRICES

Unit prices quoted and accepted shall apply throughout the life of the contract, except as otherwise specifically noted. Unit prices shall be applied, as appropriate, to compute the total value of changes in the base bid quantity of the work all in accordance with the contract documents.

GENERAL CONTRACT:

No. 1 Removal of Unsatisfac. Soil - _____ Unit Cu. Yd. Unit Price (\$)_____

No. 2 Brick Repair and Repointing _____ . Unit Per Brick Unit Price (\$)_____

MINORITY BUSINESS PARTICIPATION REQUIREMENTS

Provide with the bid - Under GS 143-128.2(c) the undersigned bidder shall identify **on its bid** (Identification of Minority Business Participation Form) the minority businesses that it will use on the project with the total dollar value of the bids that will be performed by the minority businesses. **Also** list the good faith efforts (Affidavit **A**) made to solicit minority participation in the bid effort.

NOTE: A contractor that performs all of the work with its own workforce may submit an Affidavit (**B**) to that effect in lieu of Affidavit (**A**) required above. The MB Participation Form must still be submitted even if there is zero participation.

After the bid opening - The Owner will consider all bids and alternates and determine the lowest responsible, responsive bidder. Upon notification of being the apparent low bidder, the bidder shall then file within 72 hours of the notification of being the apparent lowest bidder, the following:

An Affidavit (**C**) that includes a description of the portion of work to be executed by minority businesses, expressed as a percentage of the total contract price, which is equal to or more than the 10% goal established. This affidavit shall give rise to the presumption that the bidder has made the required good faith effort and Affidavit **D** is not necessary; * **OR** * % goal, Affidavit (**D**) of its good faith effort to meet the goal shall be provided. The document must include evidence of all good faith efforts that were implemented, including any advertisements, solicitations and other specific actions demonstrating recruitment and selection of minority businesses for participation in the contract.

Note: Bidders must always submit **with their bid** the Identification of Minority Business Participation Form listing all MB contractors, vendors and suppliers that will be used. If there is no MB participation, then enter none or zero on the form. Affidavit A **or** Affidavit B, as applicable, also must be submitted with the bid. Failure to file a required affidavit or documentation with the bid or after being notified apparent low bidder is grounds for rejection of the bid.

Proposal Signature Page

The undersigned further agrees that in the case of failure on his part to execute the said contract and the bonds within ten (10) consecutive calendar days after being given written notice of the award of contract, the certified check, cash or bid bond accompanying this bid shall be paid into the funds of the owner's account set aside for the project, as liquidated damages for such failure; otherwise the certified check, cash or bid bond accompanying this proposal shall be returned to the undersigned.

Respectfully submitted this day of _____

(Name of firm or corporation making bid)

WITNESS:

(Proprietorship or Partnership)

By: _____
Signature

Name: _____
Print or type

Title _____
(Owner/Partner/Pres./V.Pres)

Address _____

ATTEST:

By: _____

Title: _____
(Corp. Sec. or Asst. Sec. only)

License No. _____

Federal I.D. No. _____

Email Address: _____

(CORPORATE SEAL)

Addendum received and used in computing bid:

Addendum No. 1 _____ Addendum No. 3 _____ Addendum No. 5 _____ Addendum No. 7 _____
Addendum No. 2 _____ Addendum No. 4 _____ Addendum No. 6 _____ Addendum No. 8 _____



DEMOLITION SYMBOLS LEGEND

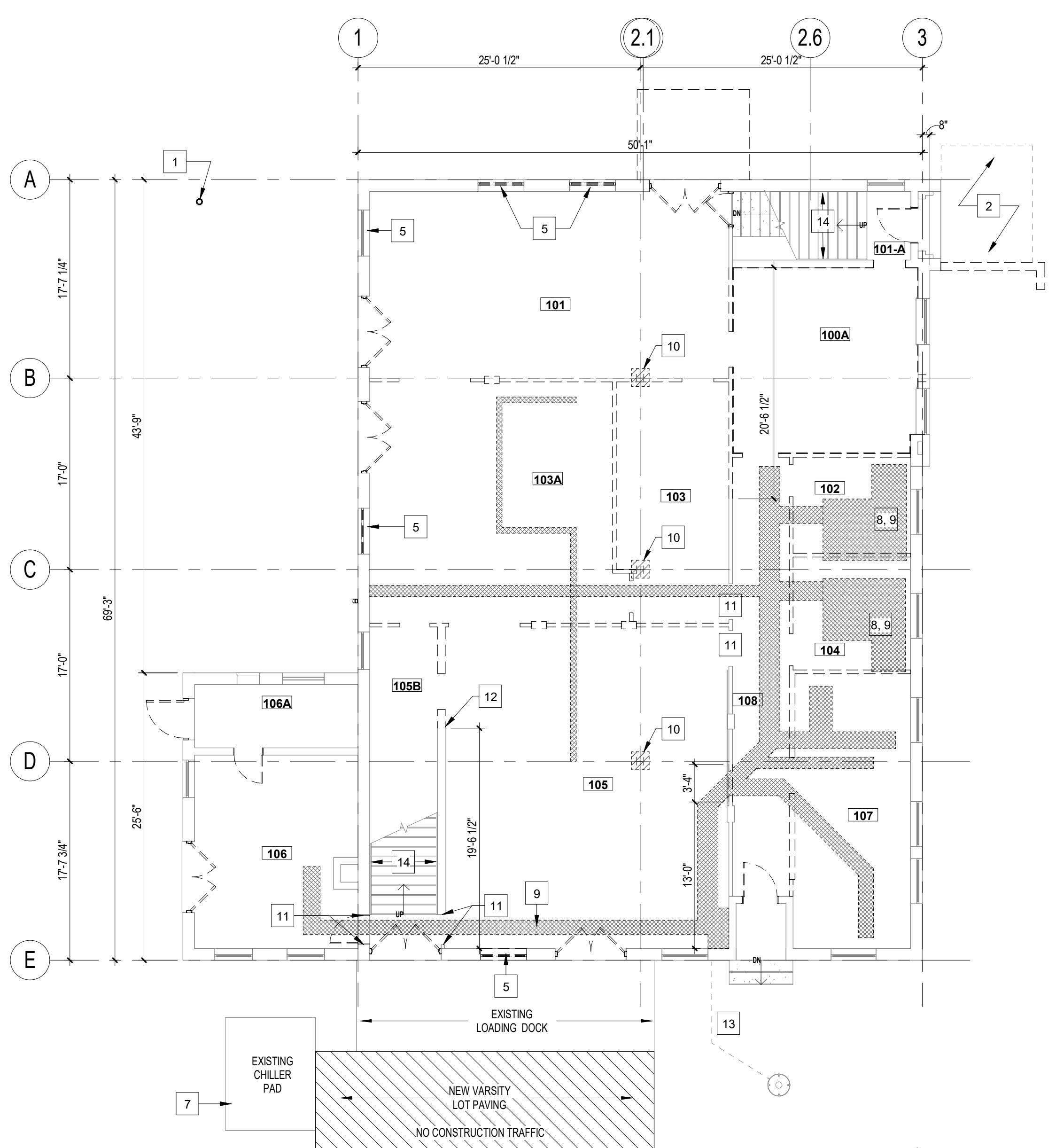
- REMOVE ALL CONSTRUCTION SHOWN DASHED COMPLETE, U.O.N.
- EXISTING WALL OR PARTITION TO REMAIN, TYP U.O.N.
- APPROX. AREA FOR FLOOR TRENCHING, SEE PME SHEETS
- APPROX. AREA FOR FLOOR REPAIR OF COLUMNS

DEMOLITION PLAN GENERAL NOTES

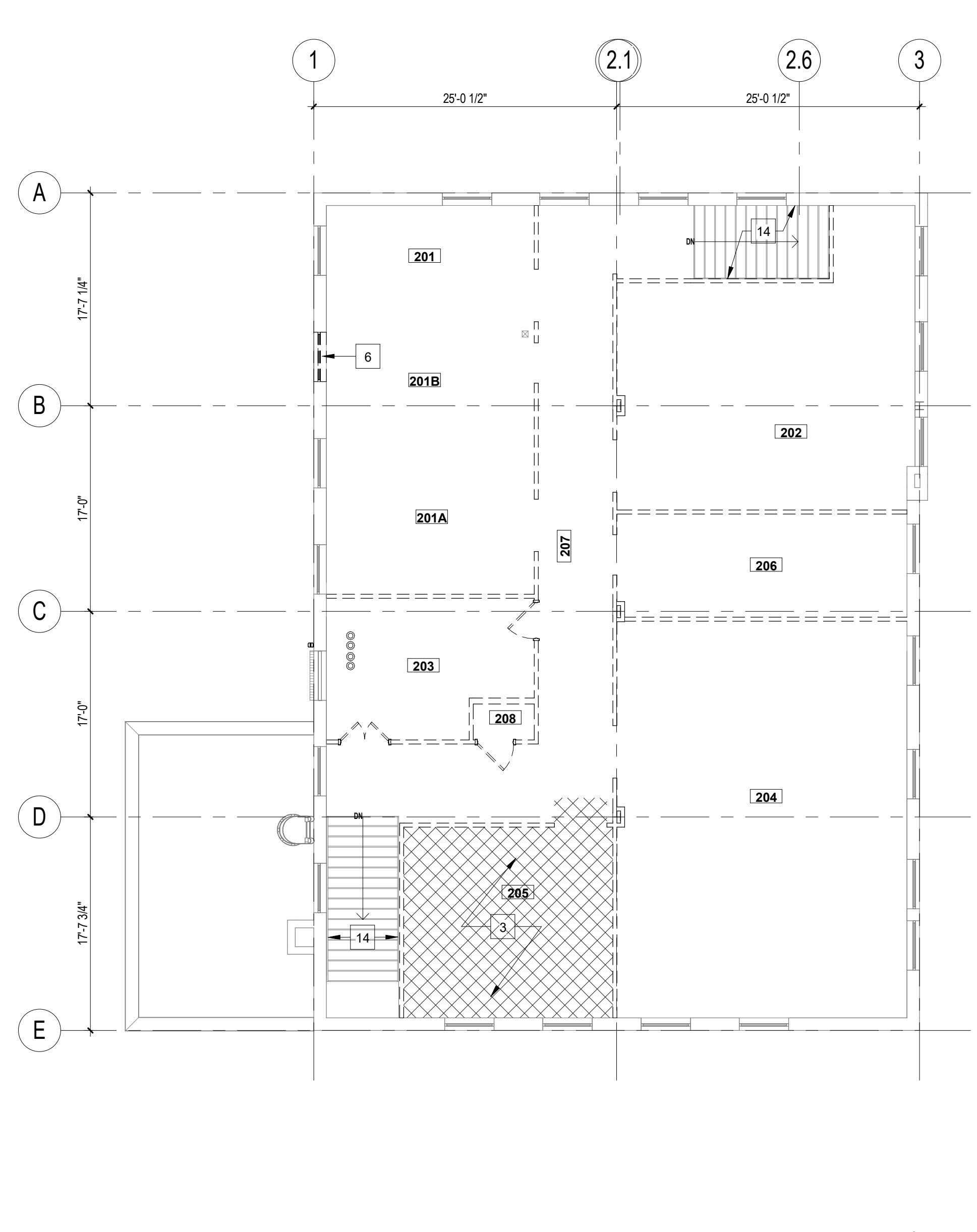
1. THE CONTRACTOR SCOPE INCLUDES THE FOLLOWING:
 - a. REMOVAL OF ALL ITEMS OF ANY NATURE SHOWN WITHIN SCOPE OF WORK.
 - b. BEFORE COMMENCING THE WORK, VERIFICATION AT THE SITE OF EXISTING CONSTRUCTION TO BE PRESERVED AND REPORTING TO THE ARCHITECT OF ANY DISCREPANCIES OR QUESTIONABLE ITEMS.
2. COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
3. PRIOR TO DEMOLITION, MEET WITH OWNER AND ARCHITECT TO IDENTIFY ITEMS WHICH ARE TO BE SALVAGED. ALL OTHER DEMOLISHED MATERIALS ARE TO BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY BY THE CONTRACTOR.
4. EXISTING SERVICES AND SYSTEMS: MAINTAIN SERVICES AND SYSTEMS INDICATED TO REMAIN AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS. WHERE MECHANICAL OR ELECTRICAL SYSTEMS ARE INDICATED TO BE SELECTIVELY DEMOLISHED, LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP-OFF INDICATED UTILITY SERVICES IN CONCEALED LOCATION.
5. REMOVE AND SALVAGE DEBRIS FROM THE SITE DAILY AS IT ACCUMULATES. REMOVE RENOVATION MATERIALS FROM THE SITE, LEAVING A CLEAN, VACUUMED SPACE.
6. PROTECT EXISTING CONSTRUCTION TO REMAIN. REPAIR ANY DAMAGE TO EXISTING CONSTRUCTION IN A MANNER ACCEPTABLE TO THE OWNER OR REPLACE SUCH DAMAGE WITH NEW ACCEPTABLE TO OWNER AND AT NO COST TO OWNER.
7. REFER TO ENGINEERING PLANS FOR FURTHER DEMOLITION OF MECHANICAL, ELECTRICAL, FIRE PROTECTION AND PLUMBING ITEMS.
8. DEMO EXISTING DISCONTINUED MEP/FP CONDUITS AND OTHER MISC. ITEMS THAT PENETRATE EXISTING FLOORS, CEILING OR ROOF. FILL VOIDS NOT TO BE RE-USED PER STRUCTURAL DRAWING DETAILS AND MAINTAIN ANY EXISTING FIRE RATING.
9. DEMO EXISTING WIRES, STRUTS & ALL ITEMS ATTACHED TO THE CEILING.
10. DEMO EXISTING DISCONTINUED MEP/FP CONDUITS, DUCTWORK AND MISC. ITEMS THAT PENETRATE PARTITIONS. FILL VOIDS SOLID WITH GROUT AND MAINTAIN ANY EXISTING FIRE RATING.
11. REMOVE UNUSED WIRING BACK TO MAIN PANEL.
12. THE CONTRACTOR SHALL REMOVE ALL ABANDONED PIPING, CONDUIT, DEVICES & WIRING BACK TO SOURCE. REMOVE UNUSED WIRING BACK TO MAIN PANEL OR NEAREST JUNCTION BOX.
13. UTILIZE BRACING AND SHORING WHERE NECESSARY TO PREVENT COLLAPSE OF STRUCTURE OR PARTS THEREOF. GENERAL CONTRACTOR IS RESPONSIBLE FOR DESIGN AND CONSTRUCTION OF ALL BRACING AND SHORING.
14. REMOVE AND DISPOSE OF ALL EXISTING SWITCHES, TEL/DATA/VOICE WIRING, AND J-BOXES IN DEMOLITION AREA UNLESS SPECIFIED TO BE REUSED. PATCH AND REPAIR FLOOR AND WALLS TO AN "AS NEW" CONDITION.
15. WHERE DOORS ARE SHOWN TO BE DEMOLISHED, DEMOLISH DOOR AND FRAME.
16. AT SECOND FLOOR STAIR WALLS, DEMO TO SECOND FLOOR SLAB, WALL AT FIRST FLOOR TO REMAIN.
17. SEE HAZARDOUS MATERIALS PLAN FOR REMOVAL OF WALLS AT SECOND FLOOR.
18. FIREPROOFING AT SECOND FLOOR CEILING TO REMAIN IN PLACE. REMOVE AS NECESSARY FOR ANY WELDING, BOLTS OR OTHER ATTACHMENTS.

DEMOLITION SHEET NOTES

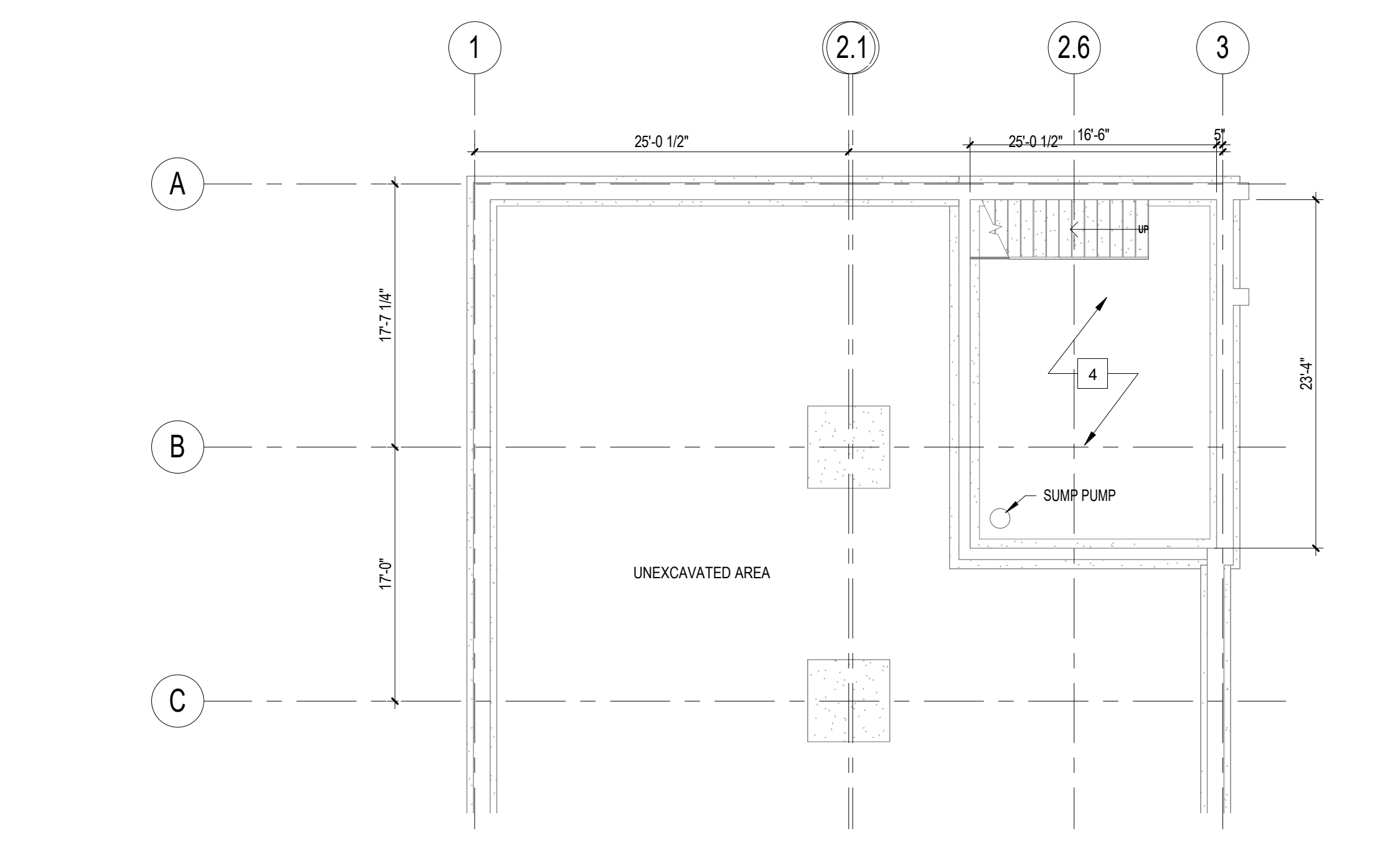
- 1 EXISTING BOLLARD & ASSOCIATED FOOTING TO BE REMOVED
- 2 DEMO LOW BRICK WALL & PATIO, SEE LANDSCAPE PLANS FOR SCOPE OF WORK THIS AREA
- 3 RAISED THRESHOLD AND MUD BED TERRACOTTA FLOOR TO BE DEMOLISHED, PROVIDE NEW CEMENTITIOUS SELF-LEVELLING FINISH FLOOR
- 4 NO NEW ARCHITECTURAL WORK THIS AREA - SEE PME SHEETS FOR SUMP PUMP REPLACEMENT
- 5 REMOVE EXISTING INFILL & REPLACE WINDOW GLASS ONLY - FRAME AND OPENING TO REMAIN, SEE ELEVATIONS & WINDOW SCHEDULES
- 6 DEMO EXISTING WINDOW, CAREFULLY REMOVE WHOLE BRICKS & CMU BENEATH OPENING TO LEVEL WITH SECOND FLOOR
- 7 EXISTING CHILLER PAD TO REMAIN
- 8 TRENCH FLOOR AS NECESSARY FOR NEW SHOWERS
- 9 TRENCH FLOOR AS NECESSARY FOR NEW DRAINS
- 10 EXISTING STEEL COLUMN TO REMAIN, SEE STRUCTURAL DRAWINGS FOR REPAIR OF STRUCTURAL COLUMNS AT BASE
- 11 DEMO EXISTING FULLY GROUTED HOLLOW METAL FRAMES
- 12 DEMO TO DIMENSION SHOWN - VERIFY IN FIELD THAT END OF WALL WILL BE A MINIMUM OF 12" BEYOND BEARING OF STAIR BEAM ON WALL
- 13 DEMO EXISTING 4" PIPING - REPLACE WITH NEW PIPING TO EXISTING MANHOLE, SEE PME SHEETS
- 14 REMOVE EXISTING HANDRAILS, CAREFULLY STORE FOR REUSE.



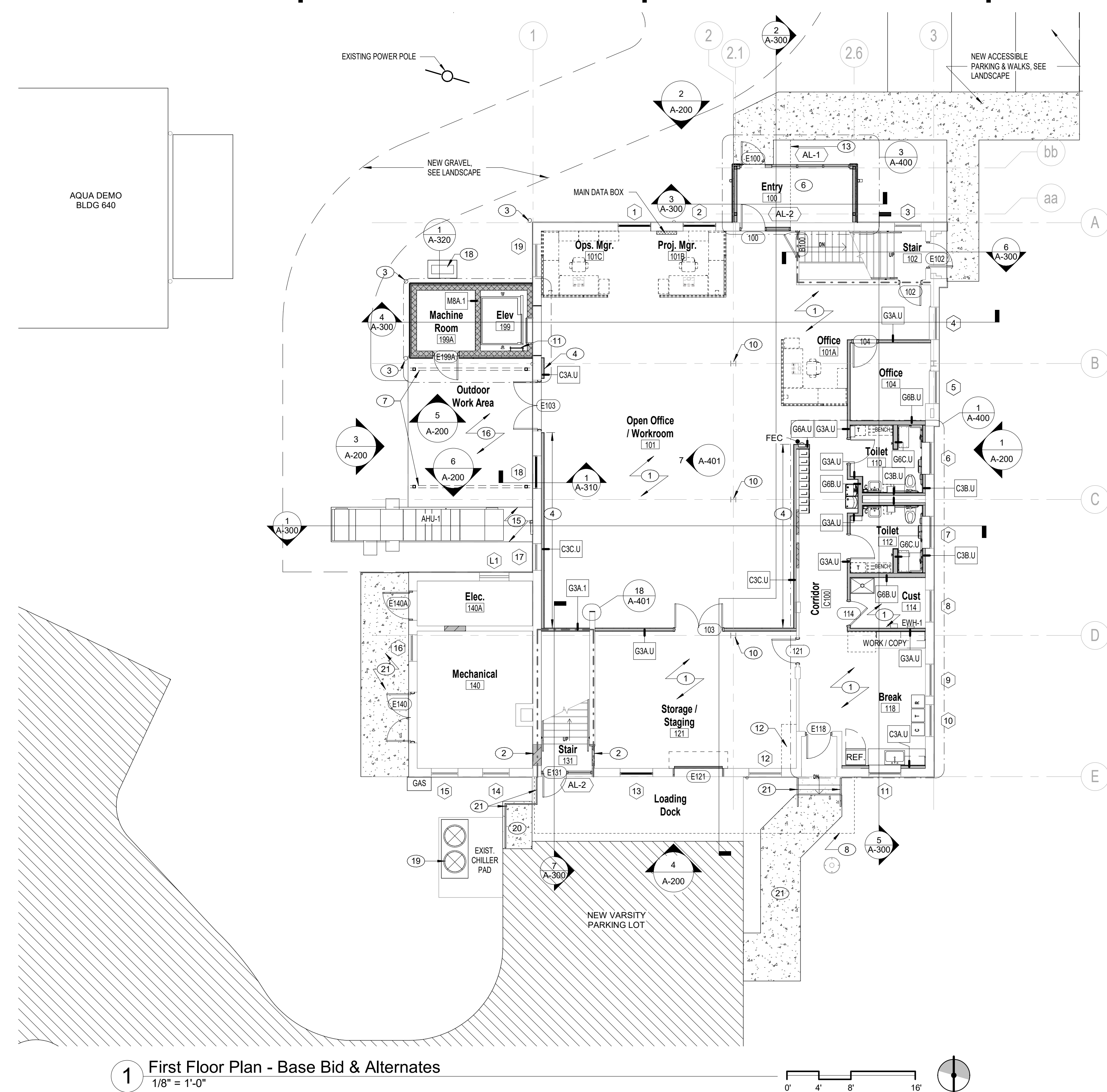
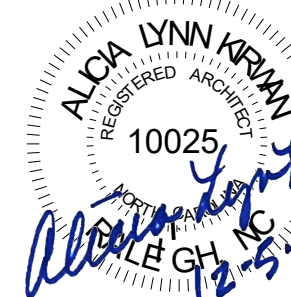
1 First Floor Demolition
 1/8" = 1'-0"



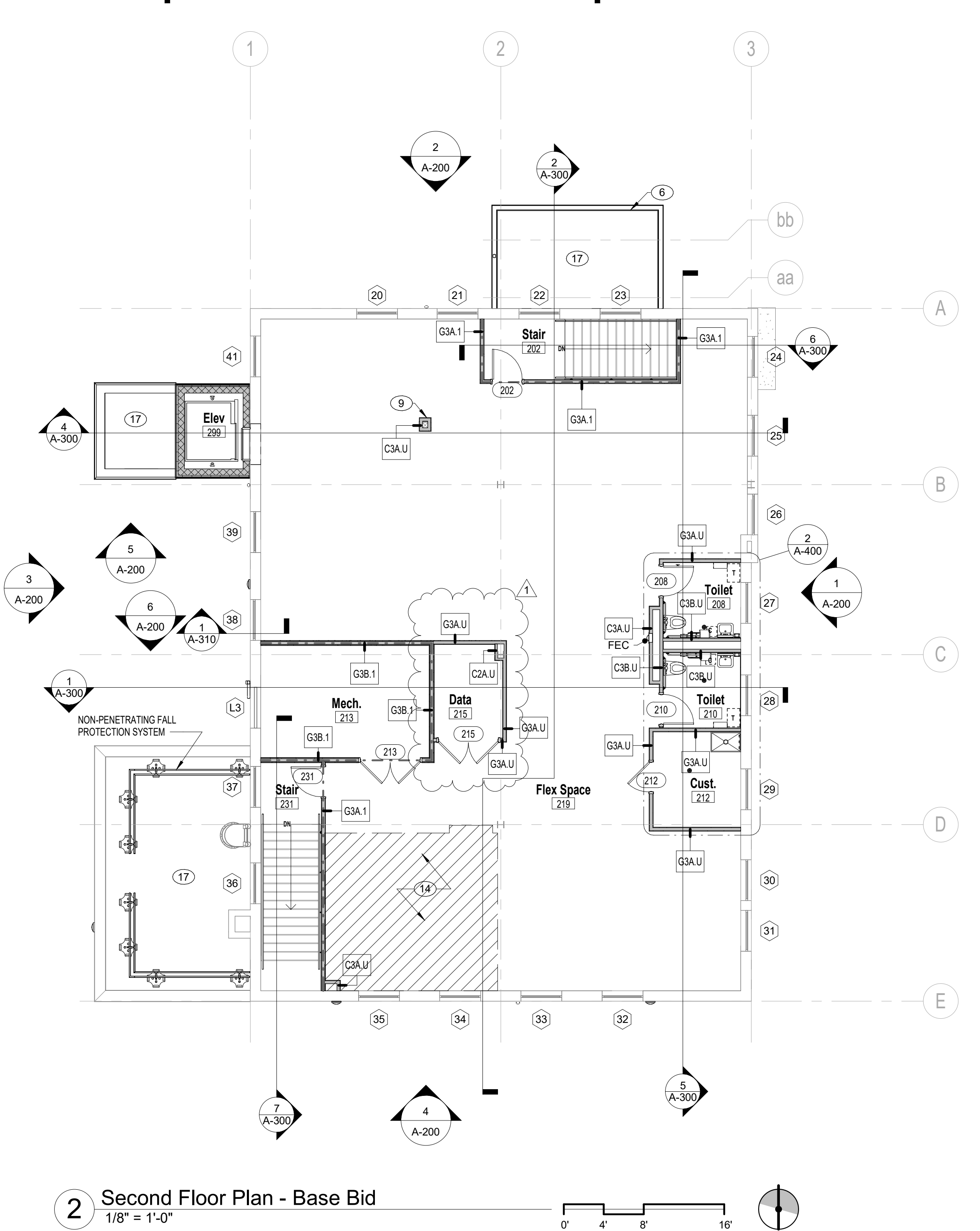
2 Second Floor Demolition
 1/8" = 1'-0"



3 Partial Basement Demo
 1/8" = 1'-0"



1 First Floor Plan - Base Bid & Alternates
1/8" = 1'-0"



2 Second Floor Plan - Base Bid
1/8" = 1'-0"

CONSTRUCTION PLAN GENERAL NOTES

- ANY CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT/DESIGNER.
- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY TO EACH OTHER. WHAT IS REQUIRED FOR ONE DRAWING SHALL BE AS BINDING AS IF REQUIRED FOR ALL.
- REVIEW LAYOUTS FOR PARTITIONS IN FIELD WITH ARCHITECT/DESIGNER PRIOR TO START OF CONSTRUCTION.
- ALL EXISTING WALLS TO REMAIN ARE TO BE PATCHED AND REPAIRED TO MEET REQUIREMENTS OF NEW FINISHES. U.O.N. REFER TO SPECIFICATIONS FOR LEVEL OF FINISH. EXISTING FIRE BARRIER WALLS ARE TO BE PATCHED AND REPAIRED TO MAINTAIN THE EXISTING FIRE RATING AS WELL AS MEET REQUIREMENTS OF NEW FINISHES.
- PENETRATIONS IN GYPSUM BOARD CONSTRUCTION ABOVE FINISHED CEILING SHALL BE EFFECTIVELY SEALED TO PREVENT SOUND LEAKAGE AT ACOUSTICAL PARTITIONS AND AT DEMISING PARTITIONS. U.O.N.
- PROVIDE VERTICAL CONTROL JOINTS IN GWB EVERY 30'-0". VERIFY LOCATION WITH ARCHITECT U.O.N.
- PARTITIONS ARE DIMENSIONED FROM FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLEAR" OR "HOLD". ALLOW FOR THICKNESS OF FINISHES.
- THE ARCHITECT RESERVES THE RIGHT TO MOVE ANY FIXTURE, RECEPTACLE OR BUILT-IN OBJECT UP UNTIL THE TIME HE/SHE SHALL APPROVE THE WALLS OR CEILINGS TO BE CLOSED. THIS APPROVAL SHALL TAKE PLACE PRIOR TO THE INSPECTORS APPROVAL SO AS NOT TO CONFLICT WITH ANY BUILDING OFFICIALS DECISIONS.
- PROVIDE FIRE EXTINGUISHERS (WITH RECESSED CABINETS) IN QUANTITIES AND LOCATIONS ON DWGS (MIN. 10000 SQ. FT. & 75' MAX TRAVEL DISTANCE). REVIEW FINAL LOCATIONS WITH THE ARCHITECT/DESIGNER PRIOR TO START OF CONSTRUCTION.
- MAINTAIN ALL FIRE ALARM DEVICES, HORNS AND STROBES DURING THE WORK.
- PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE DURING CONSTRUCTION.
- MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH OWNER TO ENSURE SECURITY.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.
- ALL DOOR OPENINGS TO BE 4" FROM NEAREST PERPENDICULAR PARTITION. U.O.N.
- SEE EXISTING ELEVATION SHEET D-101 FOR WORK ASSOCIATED WITH EXISTING WINDOWS.

PLAN KEY NOTES

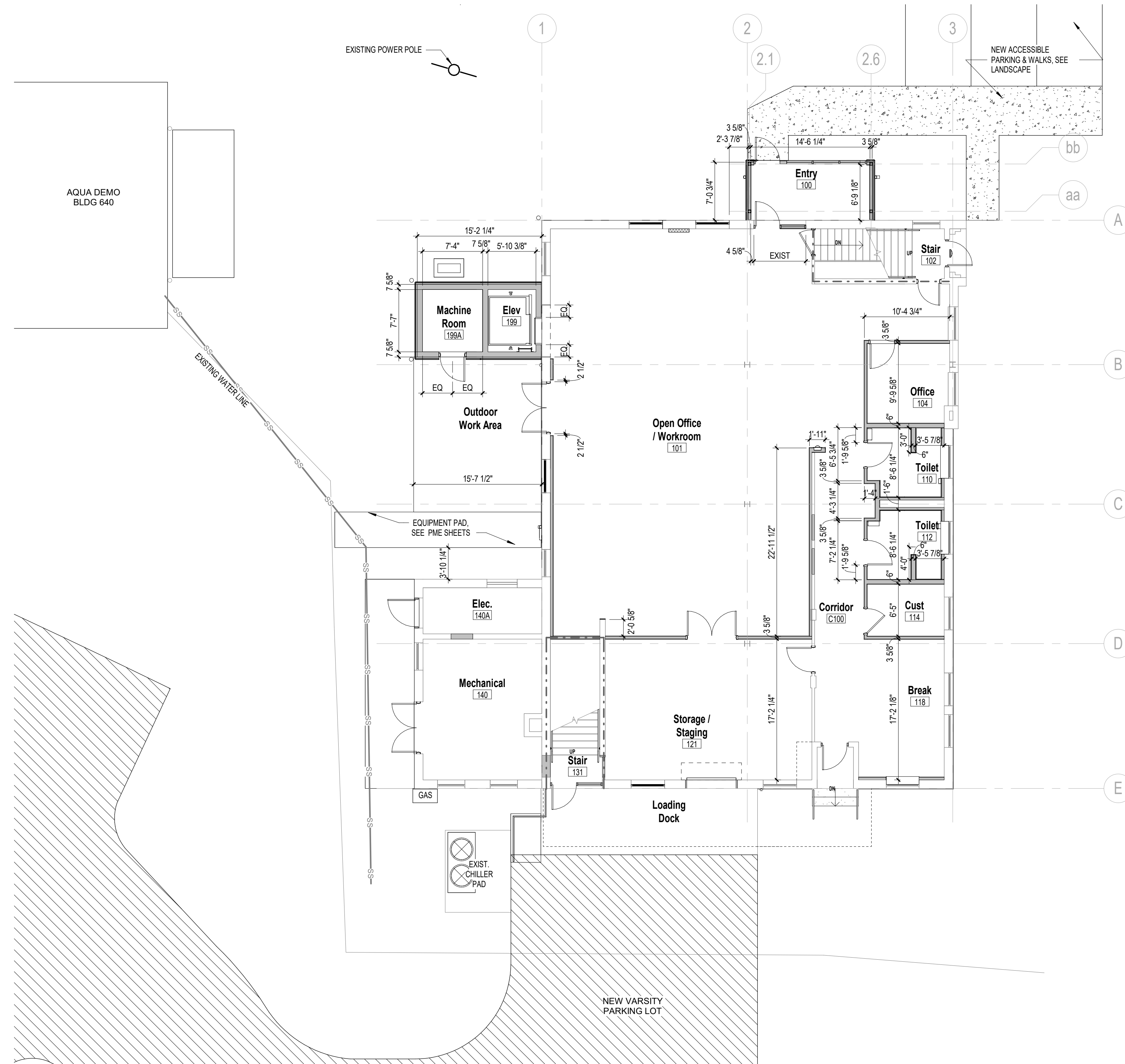
- PATCH AND REPAIR EXISTING CONCRETE FLOOR TO SMOOTH FINISH. SEAL AS SPECIFIED
- INFILL IN WALL TO MATCH EXISTING & ALIGN W/ WALL & WINDOW - MAINTAIN ONE HOUR FIRE RATING
- NEW BOLLARD. SEE LANDSCAPE FOR DETAILS
- WALL FOR EQUIPMENT TESTING. RUN IN FRONT OF EXISTING WINDOWS - 6'-6" TO TOP OF STUD. WRAP EXPOSED ENDS TO MATCH FACE
- WALL FOR EQUIPMENT TESTING - 7'-6" TO TOP OF STUD
- BASE BID: NO NEW ENTRY VESTIBULE. NEW DOOR AT DOOR 100 ONLY
ALTERNATE 4: PROVIDE NEW ENTRY VESTIBULE
- BASE BID: NO CANOPY AT OUTDOOR WORK AREA
ALTERNATE 6: PROVIDE PRE-MANUFACTURED FREESTANDING METAL CANOPY (14'x15'x11' HIGH) AT OUTDOOR WORK AREA
- BASE BID: NO CANOPY AT LOADING DOCK
ALTERNATE 5: PROVIDE NEW CANOPY AT LOADING DOCK
- WRAP EXISTING DATA CHASE TO 8'-6" A.F.F.
- REPAIR EXISTING COLUMN & PATCH FLOOR @ COLUMN AS REQUIRED FOR FLUSH, SMOOTH CONDITION - SEE STRUCTURAL PLANS FOR COLUMN REPAIRS
- PROVIDE STEEL PIT ACCESS LADDER. COORDINATE LOCATION WITH FINAL ELEVATOR INSTALLATION
- NEW BACKFLOW PREVENTER IN EXISTING LOCATION
- EXTENT OF NEW SIDEWALK FOR BASE BID
- HATCH INDICATES APPROX. EXTENT OF NEW CEMENTITIOUS SELF-LEVELLING FINISH - FEATHER FLUSH TO EXISTING FLOOR
- EQUIPMENT PAD. SEE PME SHEETS
- CANOPY PAD. SEE "L" SHEETS
- SEE ROOF PLAN A-105 FOR ALL ROOFS & ASSOCIATED DETAILS
- MINI-SPLIT SYSTEM OUTDOOR UNIT. SEE MECHANICAL PLANS
- NEW CHILLER ON EXISTING PAD. SEE MECHANICAL PLANS
- NEW CONCRETE PAD. SEE LANDSCAPE PLANS
- BASE BID: NO WORK THIS AREA
ALTERNATE 4: PROVIDE NEW CONCRETE AT THESE AREAS AS SHOWN. SEE "L" SHEETS FOR DETAILS.
- NEW HANDRAIL

LEGEND

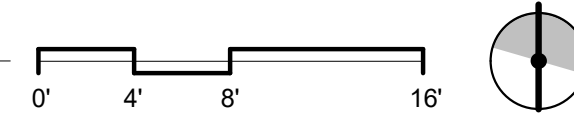
- ONE HOUR RATED ASSEMBLY
- EXISTING WALL
- NEW WALL
- NEW DOOR (SEE DOOR SCHEDULE)
- DOOR NUMBER
- CONSTRUCTION KEYNOTE TAG
- WINDOW TAG
- FIRE EXTINGUISHER RECESSED CABINET. SEE 2/G004
- T TRASH CAN - PROVIDED BY OWNER
- C COMPOST BIN - PROVIDED BY OWNER
- R RECYCLE BIN - PROVIDED BY OWNER
- L LOCKERS - PROVIDED BY OWNER
- FURNITURE & CUBICLES PROVIDED AND INSTALLED BY OWNER. COORDINATE POWER AND DATA CONNECTIONS WITH OWNER
- EXISTING WATER LINE
- EXISTING SANITARY SEWER LINE

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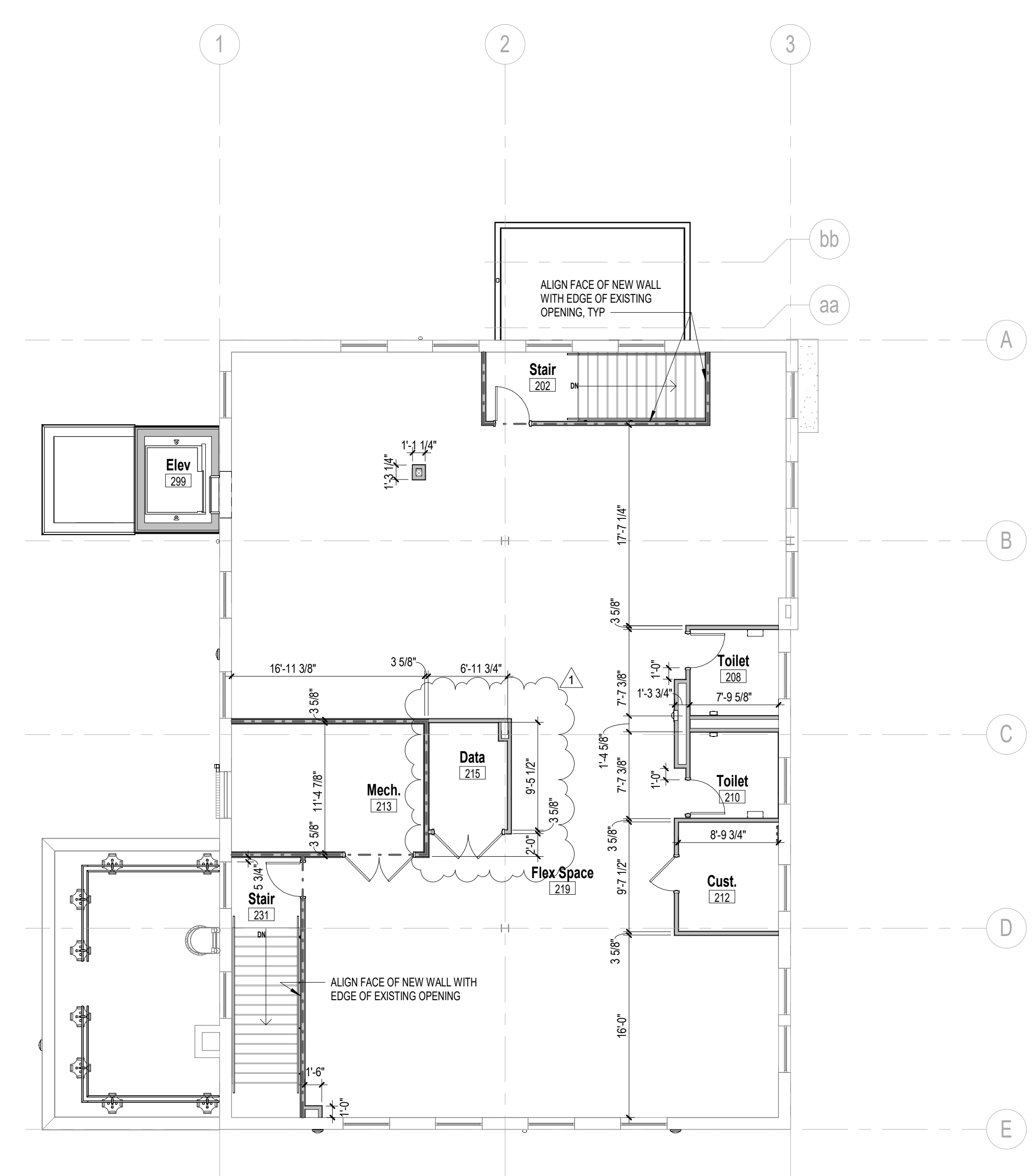
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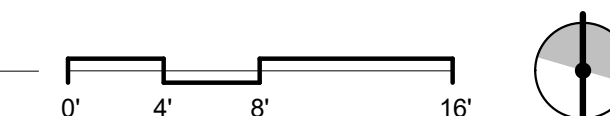
1 First Floor Plan Dimensional - Base Bid & Alternates
1/8" = 1'-0"



NOTE: ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY UNLESS OTHERWISE NOTED.



2 Second Floor Plan Dimensional - Base Bid
1/8" = 1'-0"



NOTE: ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY UNLESS OTHERWISE NOTED.

CONSTRUCTION PLAN GENERAL NOTES

1. ANY CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT/DISIGNER.
2. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY TO EACH OTHER. WHAT IS REQUIRED FOR ONE DRAWING SHALL BE AS BINDING AS IF REQUIRED FOR ALL.
3. REVIEW LAYOUTS FOR PARTITIONS IN FIELD WITH ARCHITECT/DISIGNER PRIOR TO START OF CONSTRUCTION.
4. ALL EXISTING WALLS TO REMAIN ARE TO BE PATCHED AND REPAIRED TO MEET REQUIREMENTS OF NEW FINISHES. U.O.N. REFER TO SPECIFICATIONS FOR LEVEL OF FINISH. EXISTING FIRE BARRIER WALLS ARE TO BE PATCHED AND REPAIRED TO MAINTAIN THE EXISTING FIRE RATING AS WELL AS MEET REQUIREMENTS OF NEW FINISHES.
5. PENETRATIONS IN GYPSUM BOARD CONSTRUCTION ABOVE FINISHED CEILING SHALL BE EFFECTIVELY SEALED TO PREVENT SOUND LEAKAGE AT ACOUSTICAL PARTITIONS AND AT DEMISING PARTITIONS, U.O.N.
6. PROVIDE VERTICAL CONTROL JOINTS IN GWB EVERY 30'-0". VERIFY LOCATION WITH ARCHITECT U.O.N.
7. PARTITIONS ARE DIMENSIONED FROM FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "LEAKY" OR "HOLD". ALLOW FOR THICKNESS OF FINISHES.
8. THE ARCHITECT RESERVES THE RIGHT TO MOVE ANY FIXTURE, RECEPTACLE OR BUILT-IN OBJECT UP UNTIL THE TIME HE/SHE SHALL APPROVE THE WALLS OR CEILINGS TO BE CLOSED. THIS APPROVAL SHALL TAKE PLACE PRIOR TO THE INSPECTORS APPROVAL SO AS NOT TO CONFLICT WITH ANY BUILDING OFFICIALS DECISIONS.
9. PROVIDE FIRE EXTINGUISHERS (WITH RECESSED CABINETS) IN QUANTITIES AND LOCATIONS ON DWGS (MIN. 1000 SQ. FT. & 75' MAX TRAVEL DISTANCE). REVIEW FINAL LOCATIONS WITH THE ARCHITECT/DISIGNER PRIOR TO START OF CONSTRUCTION.
10. MAINTAIN ALL FIRE ALARM DEVICES, HORNS AND STROBES DURING THE WORK.
11. PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE DURING CONSTRUCTION.
12. MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH OWNER TO ENSURE SECURITY.
13. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.
14. ALL DOOR OPENINGS TO BE 4" FROM NEAREST PERPENDICULAR PARTITION, U.O.N.
15. SEE EXISTING ELEVATION SHEET D-101 FOR WORK ASSOCIATED WITH EXISTING WINDOWS.

LEGEND

---	ONE HOUR RATED ASSEMBLY	T	TRASH CAN - PROVIDED BY OWNER
---	EXISTING WALL	C	COMPOST BIN - PROVIDED BY OWNER
G3A	PARTITION TYPE	R	RECYCLE BIN - PROVIDED BY OWNER
---	NEW WALL	L	LOCKERS - PROVIDED BY OWNER
400	NEW DOOR (SEE DOOR SCHEDULE)		FURNITURE & CUBICLES PROVIDED AND INSTALLED BY OWNER, COORDINATE POWER AND DATA CONNECTIONS WITH OWNER
3	CONSTRUCTION KEYNOTE TAG	---	EXISTING WATER LINE
11	WINDOW TAG	SS-SS	EXISTING SANITARY SEWER LINE
FEC	FIRE EXTINGUISHER RECESSED CABINET, SEE 2IG04		

consultants

project status
Construction Documents for Bid

owner id

SCO ID# 19-21547-02A
NCSU ID 201920037

seals



revisions

date note
1 12/05/2023 Rev. 1

sheet name

sheet no



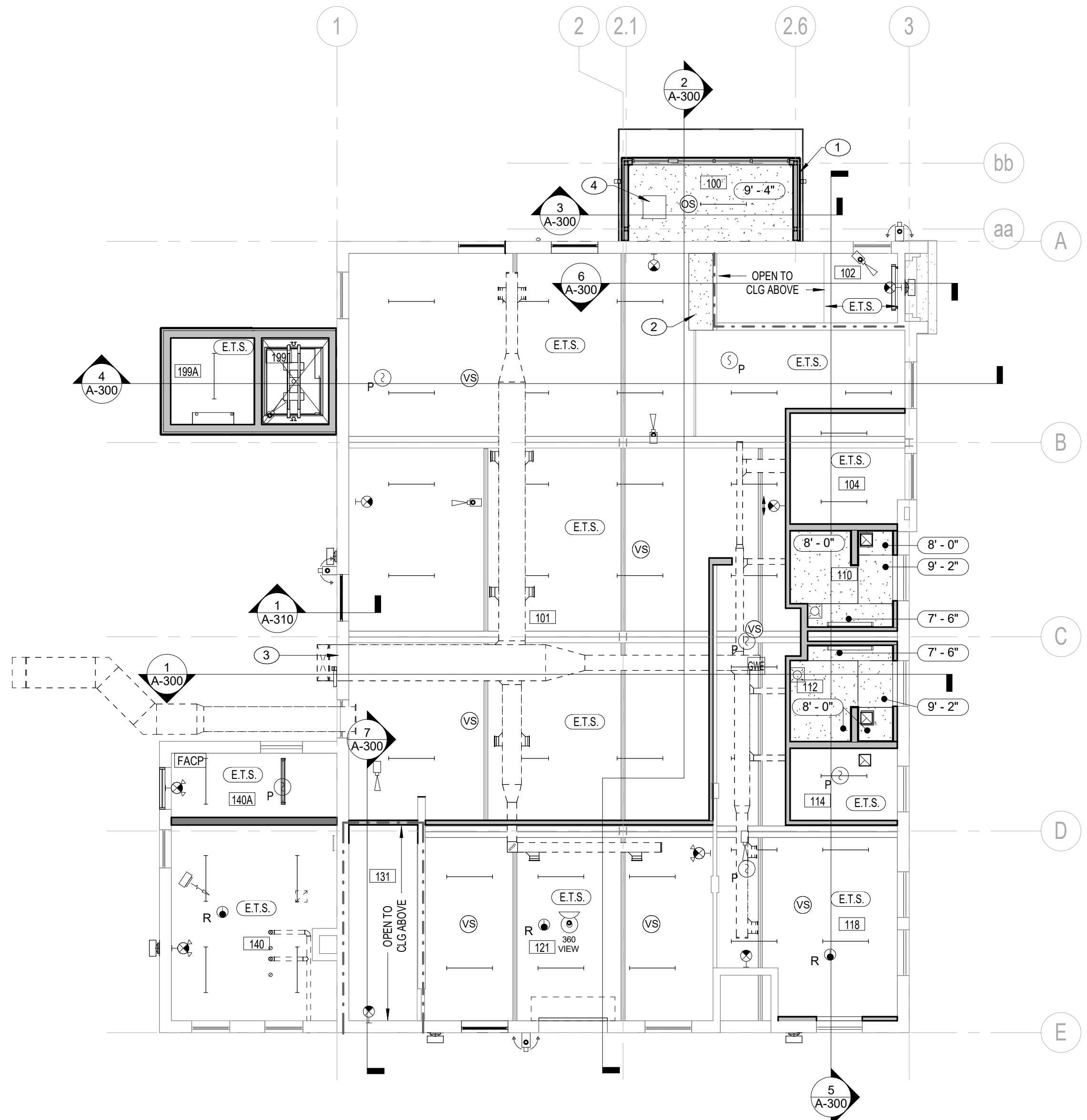
#	date	note
1	12/05/2023	Rev. I

Don E. Ellis Building (133) Renovations
 1320 Varsity Drive, Raleigh, NC 27606
 North Carolina State University

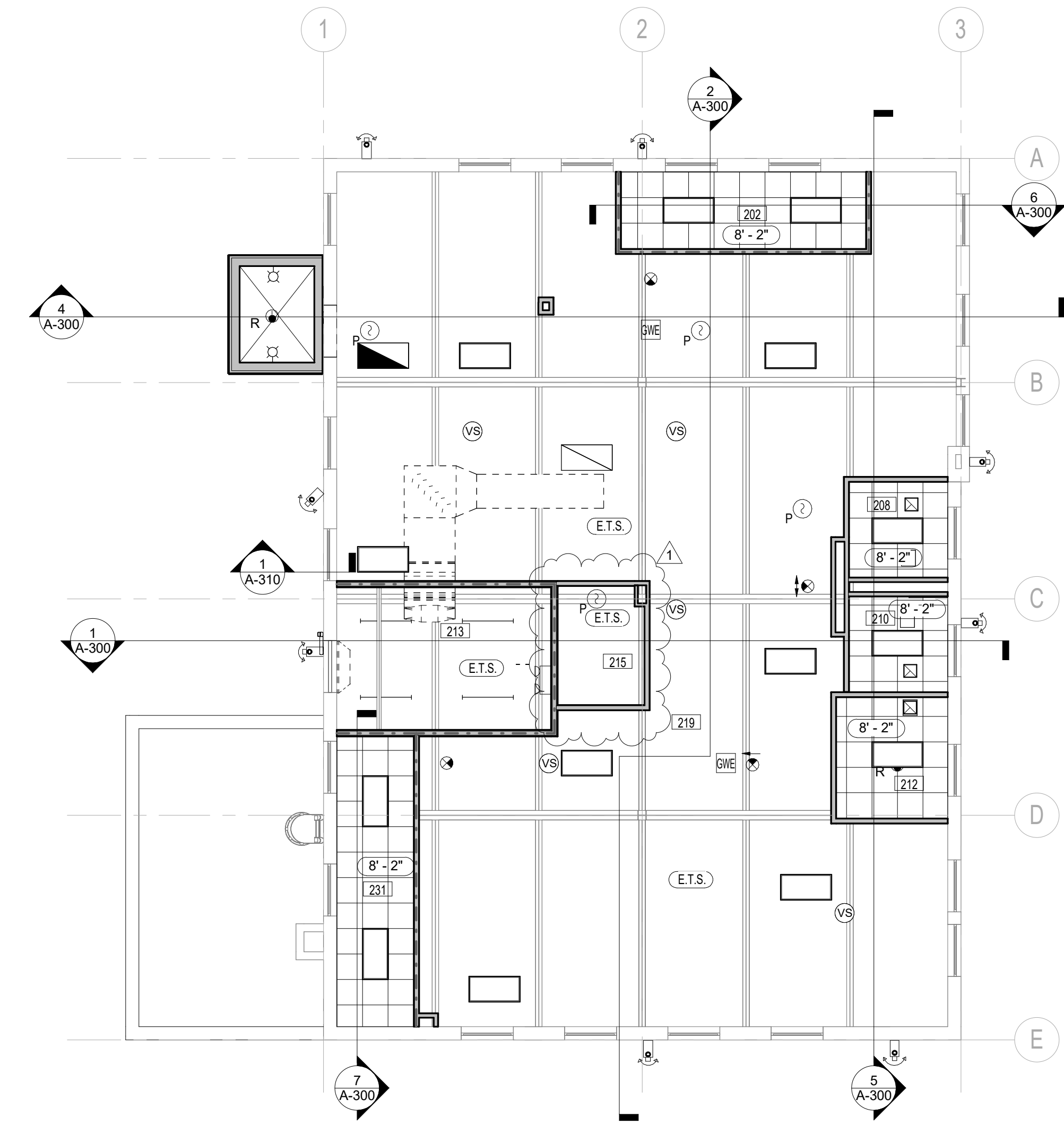
PROJECT 1368-20
 DATE 11/20/2023
 DRAWN ADQ
 CHECKED ALK

sheet name
Reflected Ceiling Plan

sheet no
A-102



1 First Floor RCP - Base Bid & Alternates
 1/8" = 1'-0"



2 Second Floor RCP - Base Bid
 1/8" = 1'-0"

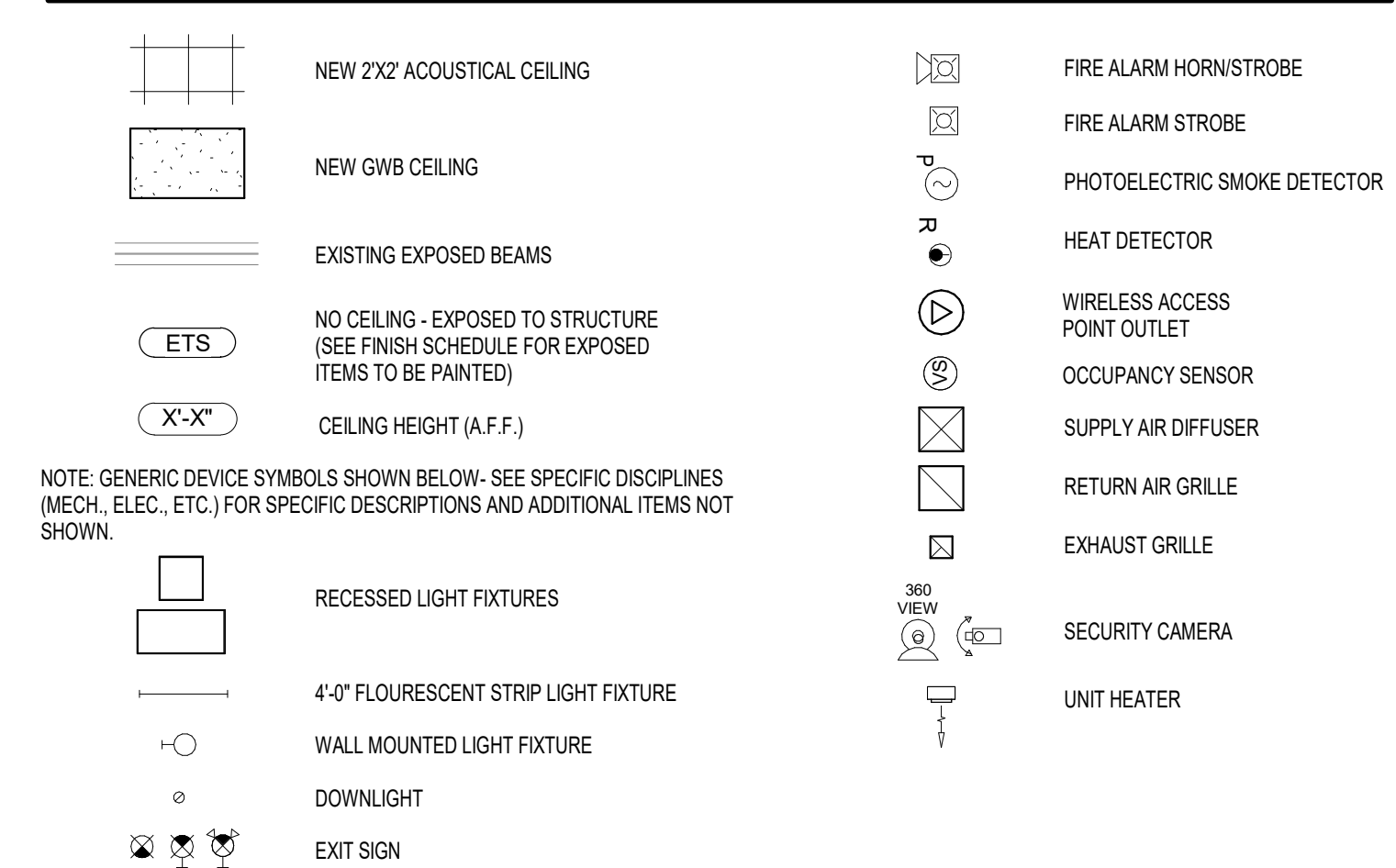
REFLECTED CEILING PLAN GENERAL NOTES

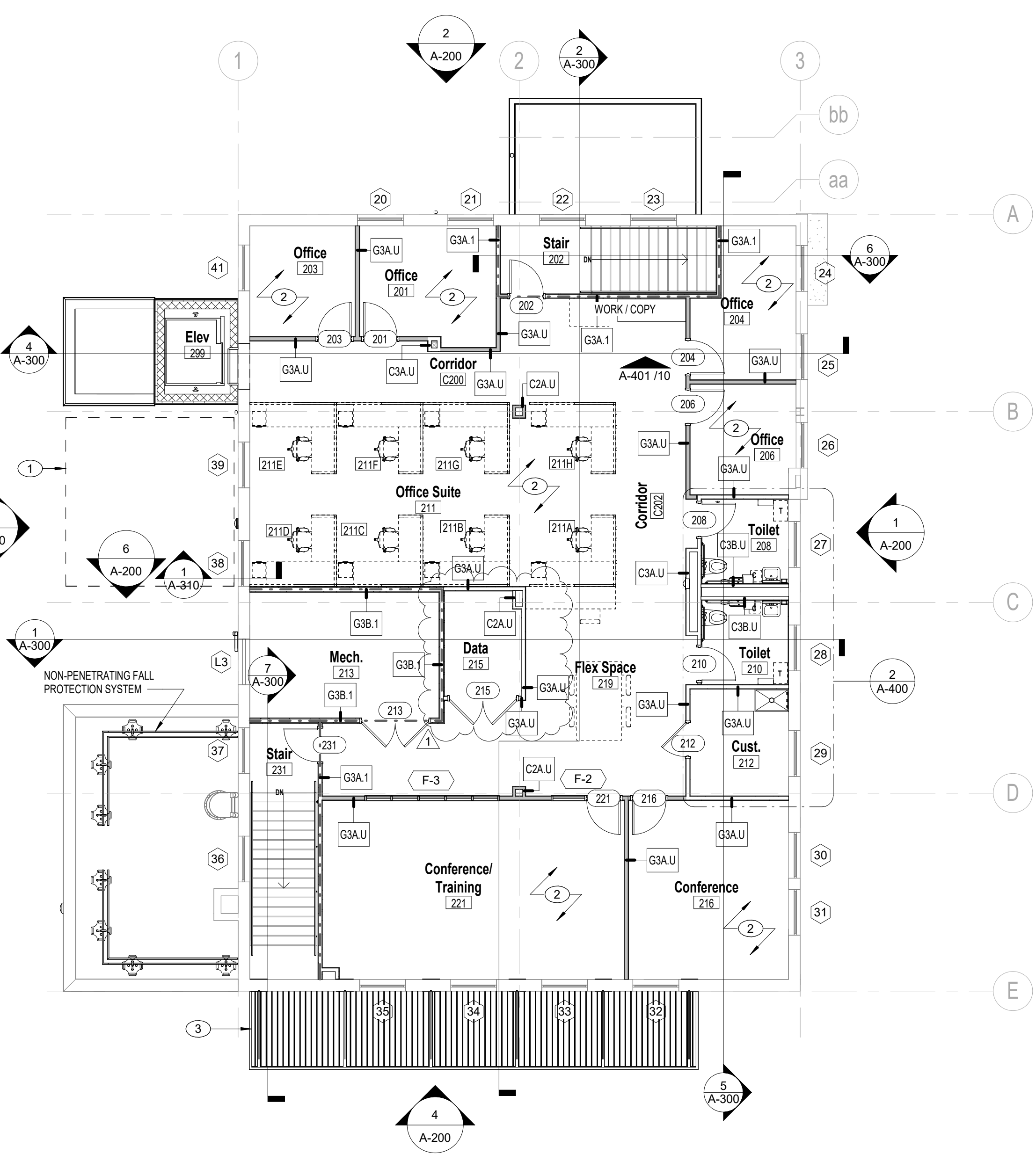
- THIS PLAN IS FOR CEILING FIXTURE AND EQUIPMENT LOCATIONS ONLY. REFER TO MEP/FP DRAWINGS FOR ADDITIONAL INFORMATION.
- ALL SMOKE DETECTORS, SPRINKLER HEADS, EXIT SIGNS, ETC. TO BE CENTERED IN CEILING TILE, U.O.N.
- DOWNLIGHTS TO BE CENTERED, IN BOTH DIRECTIONS, IN ALL ACOUSTICAL CEILING TILES, U.O.N.
- ALL DIMENSIONS OF FIXTURES, DEVICES, SPRINKLER HEADS, ETC. ARE TO CENTERLINE OF FIXTURE, U.O.N. WHERE ITEMS ARE IN LINE, CENTERLINE OF ITEMS OR GROUP OF ITEMS ARE TO ALIGN, U.O.N.
- ACT CEILING IS TO BE CENTERED IN ALL ROOMS, U.O.N. REFER TO CEILING LAYOUT FOR GRID LINE OR TILE TO BE CENTERED.
- ALL MEP/FP LOCATIONS IN CONFLICT WITH ARCHITECTURAL DRAWINGS SHOULD BE COORDINATED WITH THE ARCHITECT PRIOR TO INSTALLATION. NOTIFY ARCHITECT OF ANY DISCREPANCY, OMISSION, OR UNANTICIPATED FIELD CONDITION THAT ALTERS THE INTENT OF THESE DRAWINGS.
- ALL CEILING SYSTEMS SHALL BE SUPPORTED INDEPENDENT OF ALL NEW AND EXISTING PIPES, DUCTS, CONDUITS, ETC.
- CEILING HEIGHT SHALL BE UNIFORM THROUGHOUT UNLESS OTHERWISE NOTED ON DRAWINGS.
- ALL CEILING HEIGHTS ARE ABOVE FINISH FLOOR, WHERE THE FINISH FLOOR EQUALS 0'-0".
- SHOP DRAWINGS ARE REQUIRED FOR ALL SPECIALTY CEILING SYSTEMS.
- FINISH OF HVAC DIFFUSERS, DRAPERY POCKETS AND SPEAKER GRILLS TO MATCH ADJACENT FINISH, UNLESS OTHERWISE NOTED.
- COORDINATE ALL CEILING ACCESS PANEL LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

REFLECTED CEILING SHEET NOTES

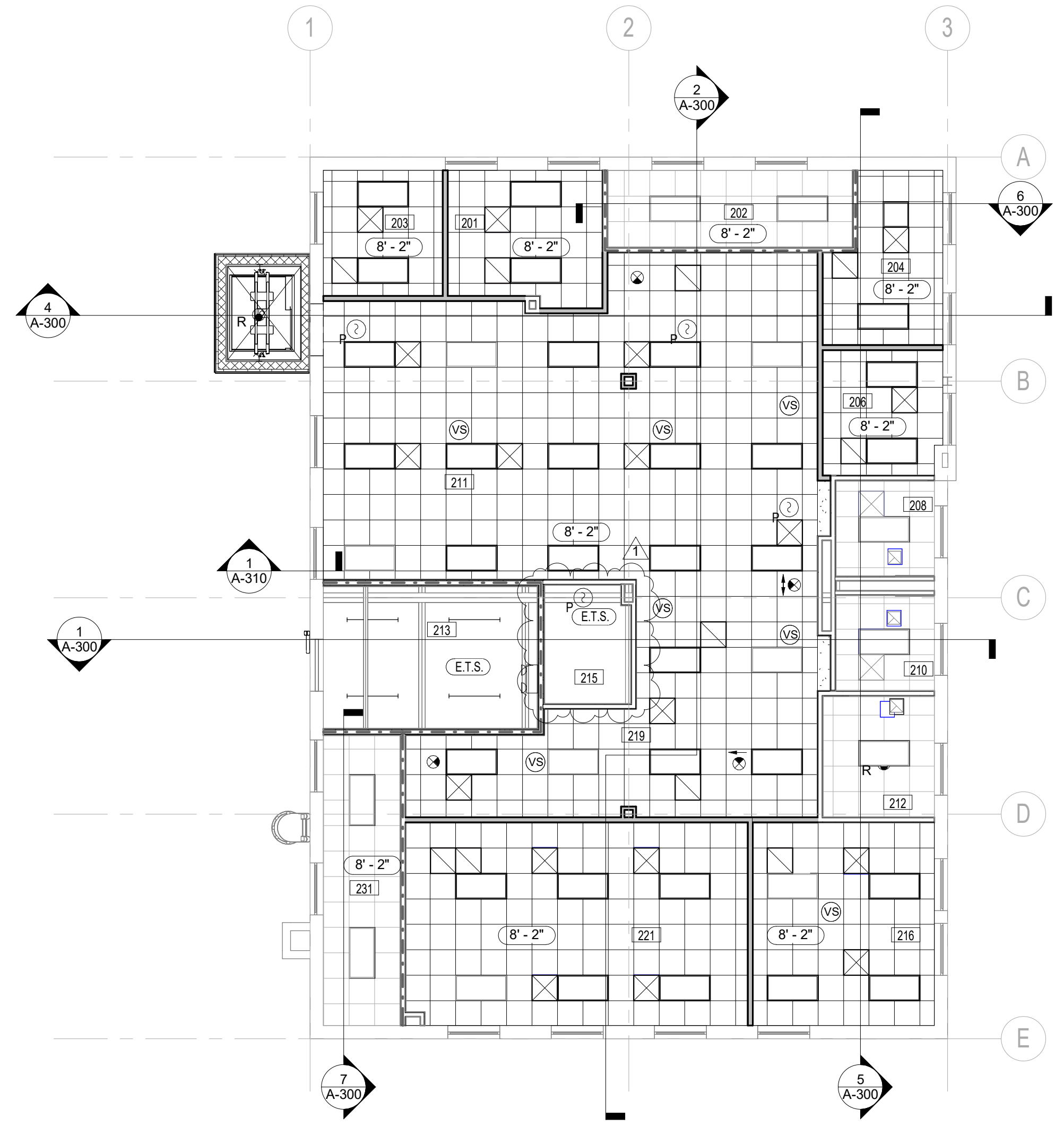
- BASE BID: NO NEW ENTRY VESTIBULE
 ALTERNATE 4: NEW ENTRY VESTIBULE
- SLOPED RATED BULKHEAD, SEE 6/A-300
- NEW OPENING FOR HVAC IN EXISTING MASONRY WALL, REFERENCE STRUCTURAL DRAWINGS AND COORDINATE WITH MECHANICAL.
- CEILING ACCESS PANEL, SEE SPECIFICATIONS - PART OF ALTERNATE 4

REFLECTED CEILING LEGEND





1 Second Floor Plan Notational - Alternates
1/8" = 1'-0"



2 Second Floor RCP - Alternates
1/8" = 1'-0"

CONSTRUCTION PLAN GENERAL NOTES

1. ANY CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT/DRAWING DESIGNER.
2. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY TO EACH OTHER. WHAT IS REQUIRED FOR ONE DRAWING SHALL BE AS BINDING AS IF REQUIRED FOR ALL.
3. REVIEW LAYOUTS FOR PARTITIONS IN FIELD WITH ARCHITECT/DRAWING DESIGNER PRIOR TO START OF CONSTRUCTION.
4. ALL EXISTING WALLS TO REMAIN ARE TO BE PATCHED AND REPAIRED TO MEET REQUIREMENTS OF NEW FINISHES. U.O.N. REFER TO SPECIFICATIONS FOR LEVEL OF FINISH. EXISTING FIRE BARRIER WALLS ARE TO BE PATCHED AND REPAIRED TO MAINTAIN THE EXISTING FIRE RATING AS WELL AS MEET REQUIREMENTS OF NEW FINISHES.
5. PENETRATIONS IN GYPSUM BOARD CONSTRUCTION ABOVE FINISHED CEILING SHALL BE EFFECTIVELY SEALED TO PREVENT SOUND LEAKAGE AT ACOUSTICAL PARTITIONS AND AT DEMISING PARTITIONS. U.O.N.
6. PROVIDE VERTICAL CONTROL JOINTS IN GWB EVERY 3'-0". VERIFY LOCATION WITH ARCHITECT U.O.N.
7. PARTITIONS ARE DIMENSIONED FROM FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLEAR" OR "HOLD". ALLOW FOR THICKNESS OF FINISHES.
8. THE ARCHITECT RESERVES THE RIGHT TO MOVE ANY FIXTURE, RECEPTACLE OR BUILT-IN OBJECT UP UNTIL THE TIME THE SHEET IS APPROVED. THE WALLS OR CEILINGS TO BE CLOSED. THIS APPROVAL SHALL TAKE PLACE PRIOR TO THE INSPECTOR'S APPROVAL SO AS NOT TO CONFLICT WITH ANY BUILDING OFFICIALS DECISIONS.
9. PROVIDE FIRE EXTINGUISHERS (WITH RECESSED CABINETS) IN QUANTITIES AND LOCATIONS ON DWGS (MIN. 1/600 SQ. FT. & 75' MAX TRAVEL DISTANCE). REVIEW FINAL LOCATIONS WITH THE ARCHITECT/DRAWING DESIGNER PRIOR TO START OF CONSTRUCTION.
10. MAINTAIN ALL FIRE ALARM DEVICES, HORNS AND STROBES DURING THE WORK.
11. PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE DURING CONSTRUCTION.
12. MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH OWNER TO ENSURE SECURITY.
13. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.
14. ALL DOOR OPENINGS TO BE 4" FROM NEAREST PERPENDICULAR PARTITION. U.O.N.
15. SEE EXISTING ELEVATION SHEET D-101 FOR WORK ASSOCIATED WITH EXISTING WINDOWS.

PLAN KEY NOTES FOR ALTERNATES

- 1 PROVIDE PRE-MANUFACTURED FREESTANDING METAL CANOPY AT OUTDOOR WORK AREA
- 2 NEW CARPET AND BASE
- 3 NEW PRE-ENGINEERED SUSPENDED METAL CANOPY, BASIS OF DESIGN MAPES SUPER LUMIDECK W/ HANGER ROD SUPPORTS

LEGEND

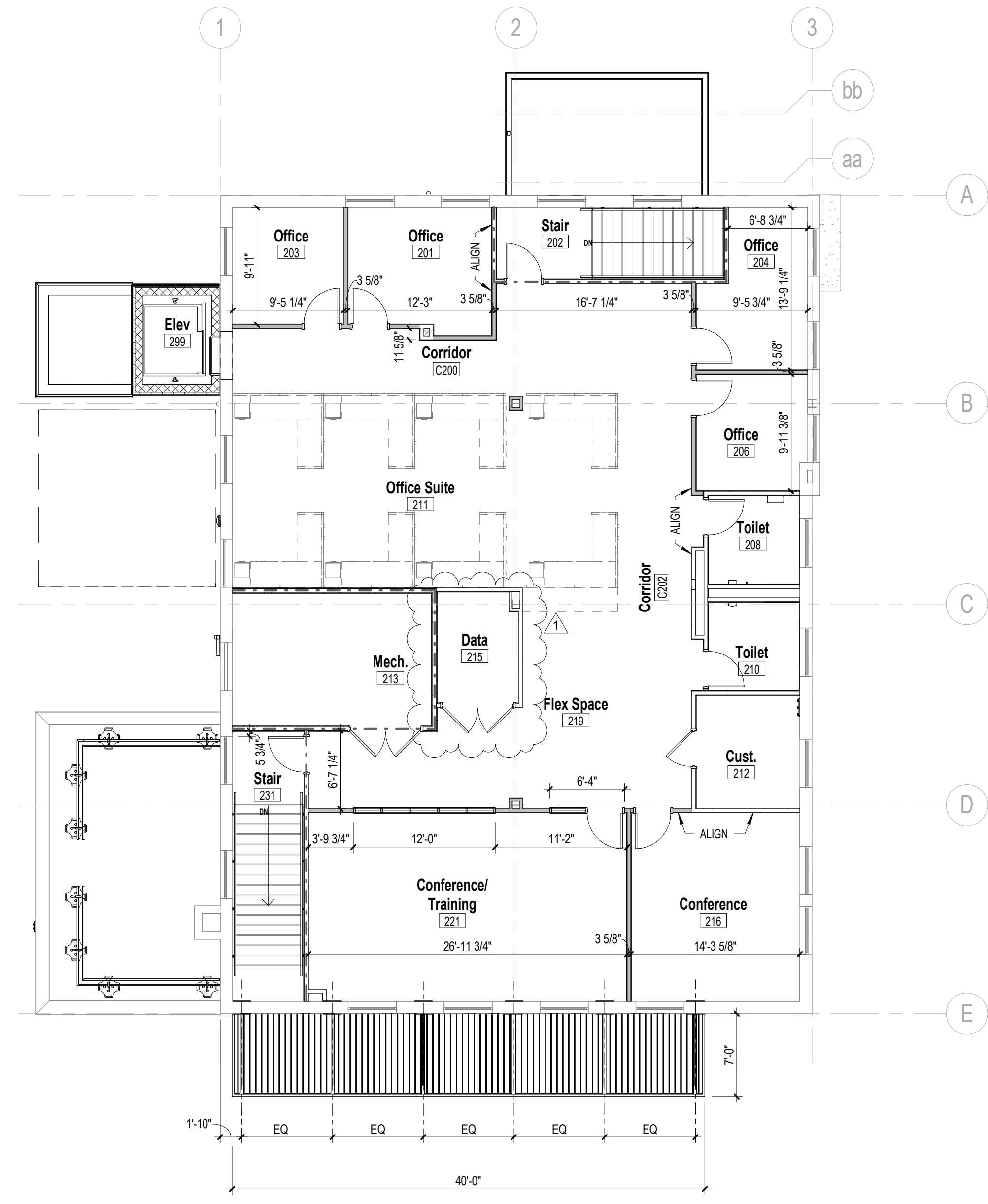
---	ONE HOUR RATED ASSEMBLY	T	TRASH CAN - PROVIDED BY OWNER
---	EXISTING WALL / BASE BID WALL	C	COMPOST BIN - PROVIDED BY OWNER
G3A	PARTITION TYPE	R	RECYCLE BIN - PROVIDED BY OWNER
---	ALTERNATE WALL		FURNITURE & CUBICLES PROVIDED AND INSTALLED BY OWNER. COORDINATE POWER AND DATA CONNECTIONS WITH OWNER
400	DOOR (SEE DOOR SCHEDULE)		
400	DOOR NUMBER		
3	CONSTRUCTION KEYNOTE TAG		
11	WINDOW TAG		
400	FIRE EXTINGUISHER RECESSED CABINET, SEE 2/G004		

REFLECTED CEILING LEGEND

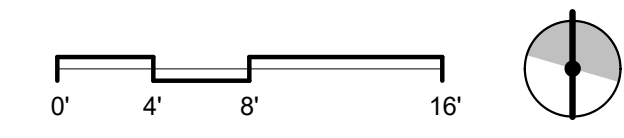
Grid	NEW 2'X2' ACOUSTICAL CEILING	☐	FIRE ALARM HORN/STROBE
Grid	NEW GWB CEILING	☐	FIRE ALARM STROBE
Grid	EXISTING EXPOSED BEAMS	☐	PHOTOELECTRIC SMOKE DETECTOR
ETS	NO CEILING - EXPOSED TO STRUCTURE (SEE FINISH SCHEDULE FOR EXPOSED ITEMS TO BE PAINTED)	☐	HEAT DETECTOR
X'-X"	CEILING HEIGHT (A.F.F.)	☐	WIRELESS ACCESS POINT OUTLET
☐	RECESSED LIGHT FIXTURES	☐	OCCUPANCY SENSOR
---	4'-0" FLOURESCENT STRIP LIGHT FIXTURE	☐	SUPPLY AIR DIFFUSER
○	WALL MOUNTED LIGHT FIXTURE	☐	RETURN AIR GRILLE
○	DOWNLIGHT	☐	EXHAUST GRILLE
☐	EXIT SIGN	☐	SECURITY CAMERA
		☐	UNIT HEATER



#	date	note
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NOTE: ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY UNLESS OTHERWISE NOTED.



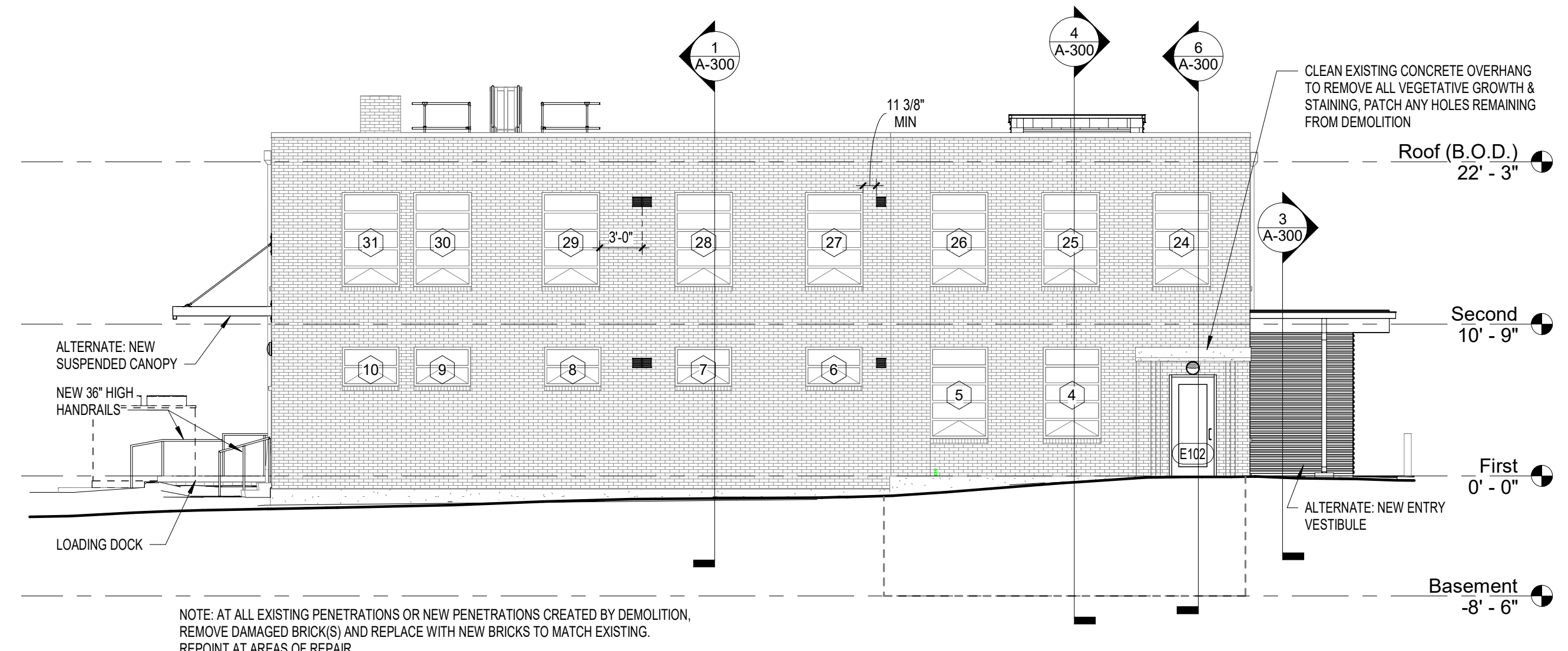
1 Second Floor Plan Dimensional - Alternates
 1/8" = 1'-0"

CONSTRUCTION PLAN GENERAL NOTES

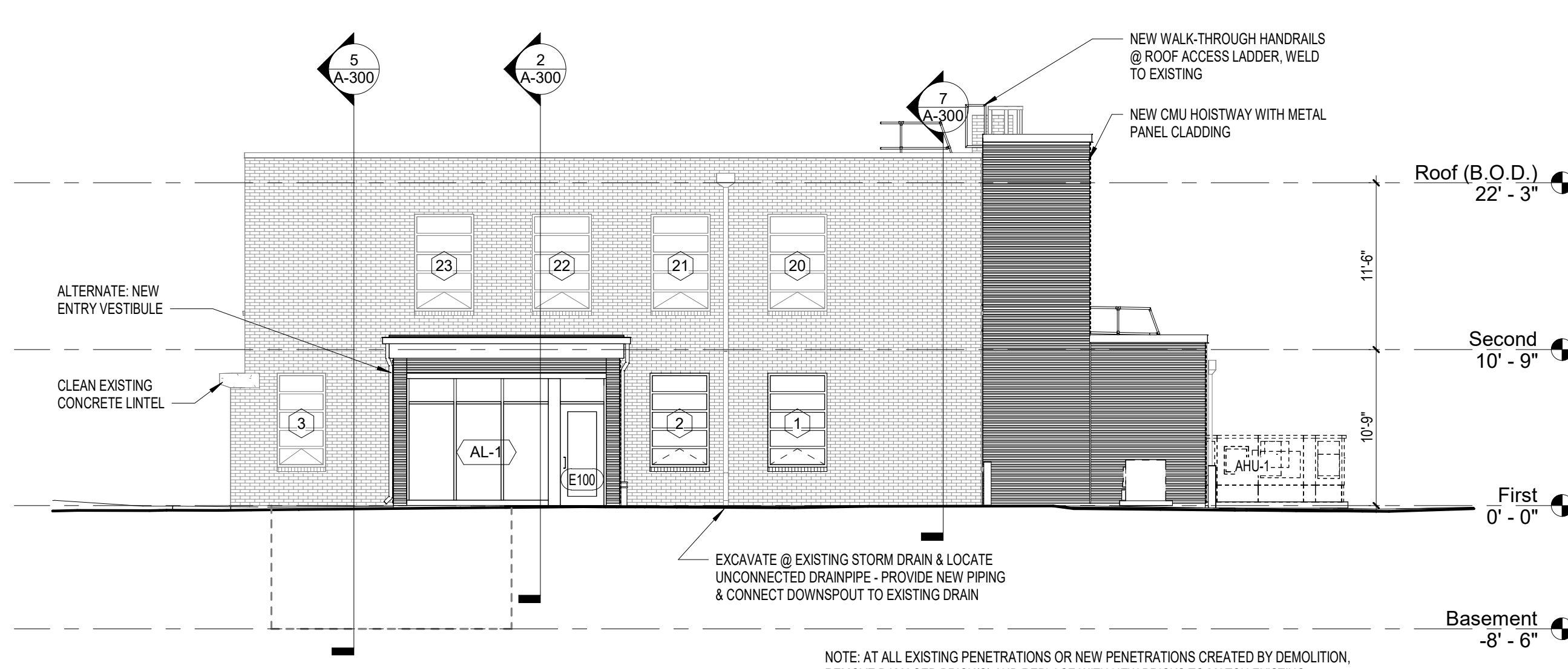
1. ANY CONFLICTS BETWEEN SITE CONDITIONS AND DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT/DRAWER.
2. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY TO EACH OTHER. WHAT IS REQUIRED FOR ONE DRAWING SHALL BE AS BINDING AS IF REQUIRED FOR ALL.
3. REVIEW LAYOUTS FOR PARTITIONS IN FIELD WITH ARCHITECT/DRAWER PRIOR TO START OF CONSTRUCTION.
4. ALL EXISTING WALLS TO REMAIN ARE TO BE PATCHED AND REPAIRED TO MEET REQUIREMENTS OF NEW FINISHES. U.O.N. REFER TO SPECIFICATIONS FOR LEVEL OF FINISH. EXISTING FIRE BARRIER WALLS ARE TO BE PATCHED AND REPAIRED TO MAINTAIN THE EXISTING FIRE RATING AS WELL AS MEET REQUIREMENTS OF NEW FINISHES.
5. PENETRATIONS IN GYPSUM BOARD CONSTRUCTION ABOVE FINISHED CEILING SHALL BE EFFECTIVELY SEALED TO PREVENT SOUND LEAKAGE AT ACOUSTICAL PARTITIONS AND AT DEMISING PARTITIONS. U.O.N.
6. PROVIDE VERTICAL CONTROL JOINTS IN GWB EVERY 30'-0". VERIFY LOCATION WITH ARCHITECT U.O.N.
7. PARTITIONS ARE DIMENSIONED FROM FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLEAN" OR "HOLD" ALLOW FOR THICKNESS OF FINISHES.
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9. PROVIDE FIRE EXTINGUISHERS (WITH RECESSED CABINETS) IN QUANTITIES AND LOCATIONS ON DWGS (MIN. 10000 SQ. FT. & 75' MAX TRAVEL DISTANCE). REVIEW FINAL LOCATIONS WITH THE ARCHITECT/DRAWER PRIOR TO START OF CONSTRUCTION.
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11. PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE DURING CONSTRUCTION.
12. MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH OWNER TO ENSURE SECURITY.
13. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.
14. ALL DOOR OPENINGS TO BE 4" FROM NEAREST PERPENDICULAR PARTITION, U.O.N.
15. SEE EXISTING ELEVATION SHEET D-101 FOR WORK ASSOCIATED WITH EXISTING WINDOWS.

LEGEND

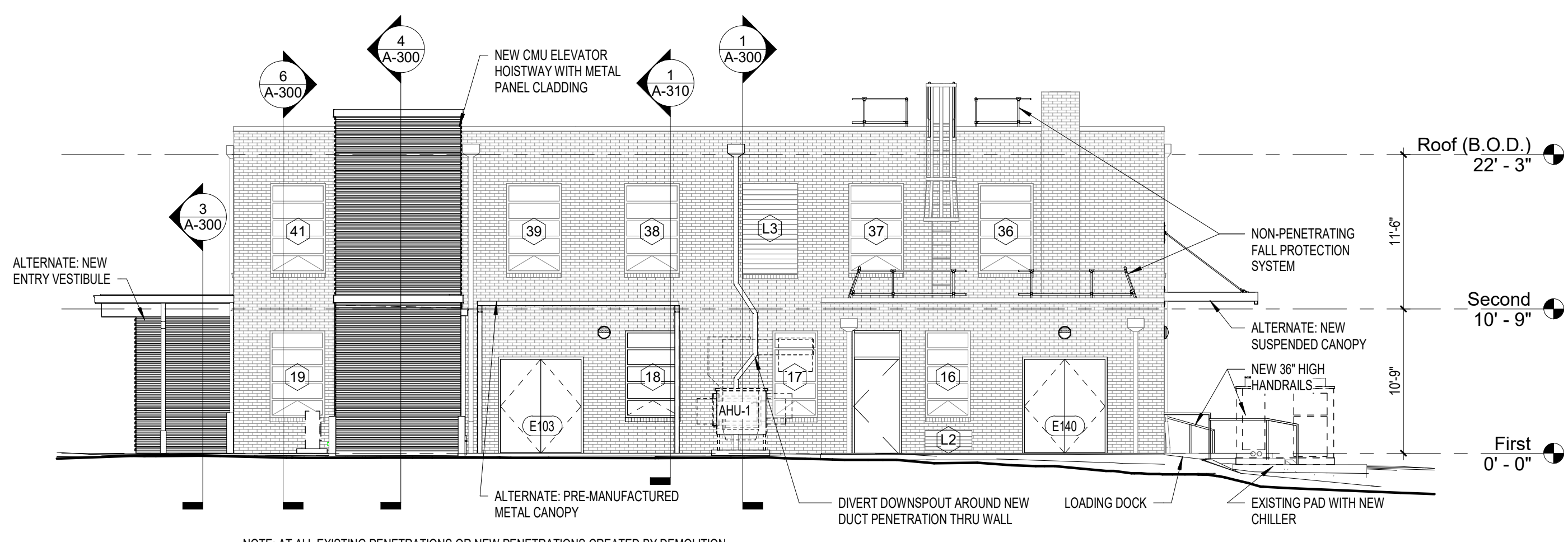
---	ONE HOUR RATED ASSEMBLY	T	TRASH CAN - PROVIDED BY OWNER
---	EXISTING WALL	c	COMPOST BIN - PROVIDED BY OWNER
G3A	PARTITION TYPE	R	RECYCLE BIN - PROVIDED BY OWNER
---	NEW WALL	L	LOCKERS - PROVIDED BY OWNER
400	NEW DOOR (SEE DOOR SCHEDULE)		FURNITURE & CUBICLES PROVIDED AND INSTALLED BY OWNER. COORDINATE POWER AND DATA CONNECTIONS WITH OWNER
3	DOOR NUMBER	---	EXISTING WATER LINE
3	CONSTRUCTION KEYNOTE TAG	SS-SS	EXISTING SANITARY SEWER LINE
It	WINDOW TAG		
FEC	FIRE EXTINGUISHER RECESSED CABINET, SEE 2/G004		



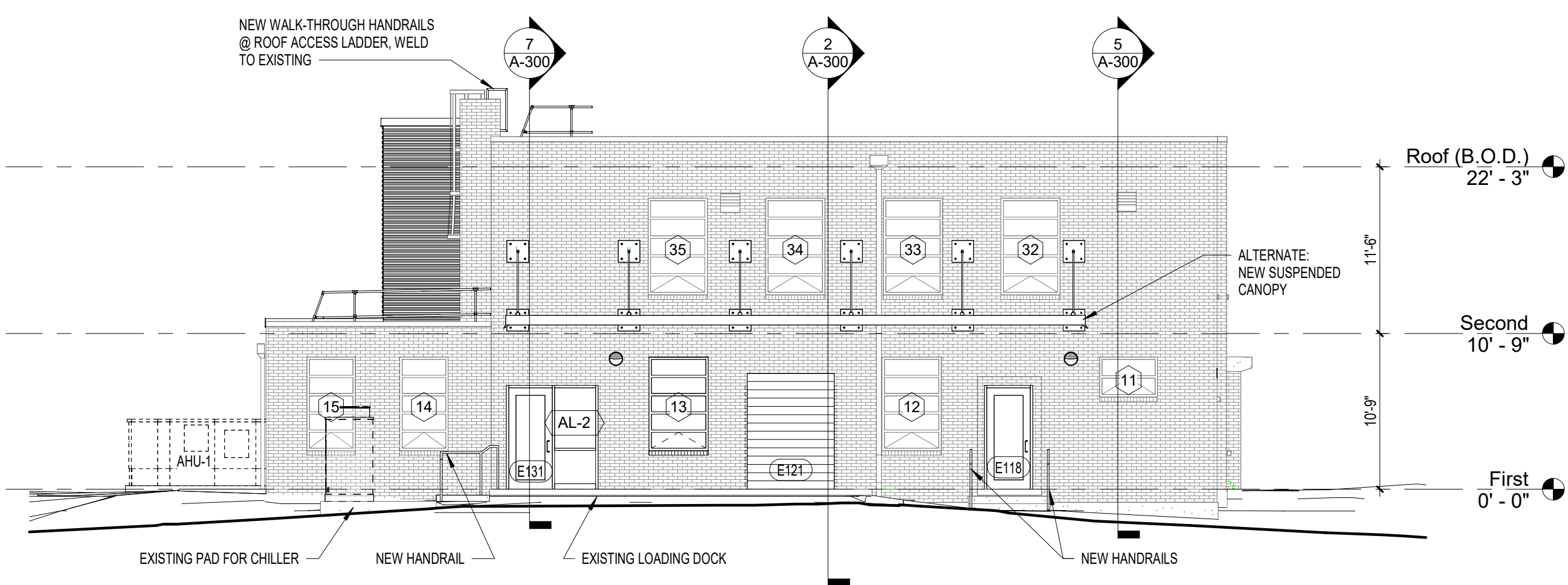
1 East
 1/8" = 1'-0"



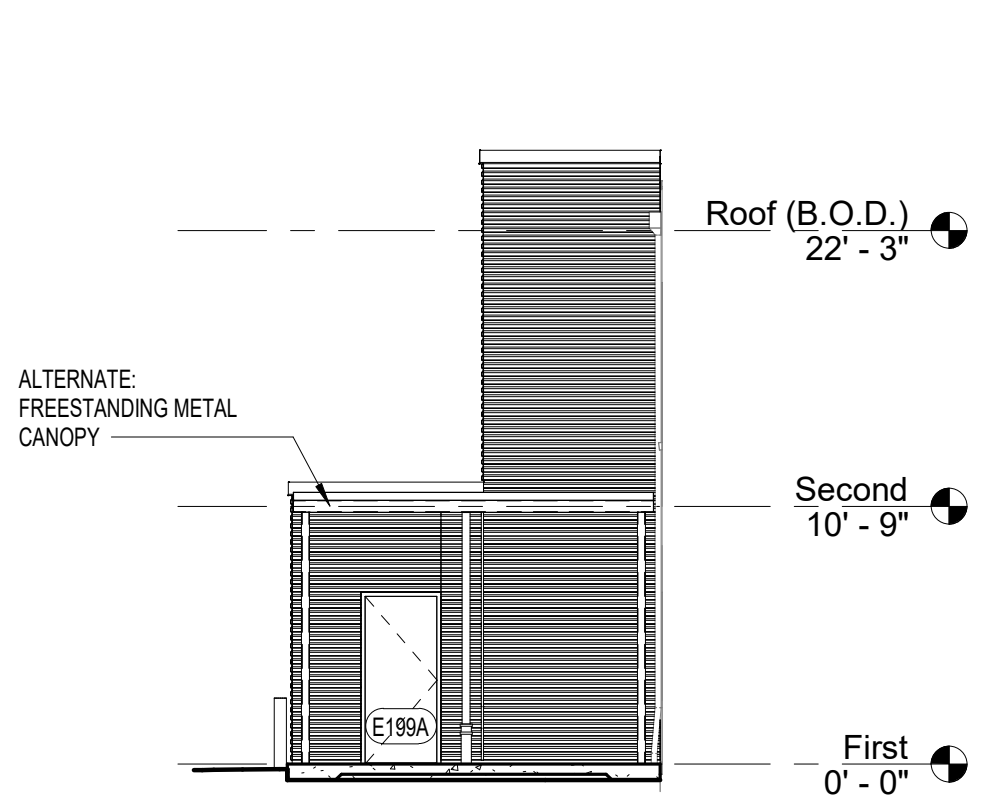
2 North
 1/8" = 1'-0"



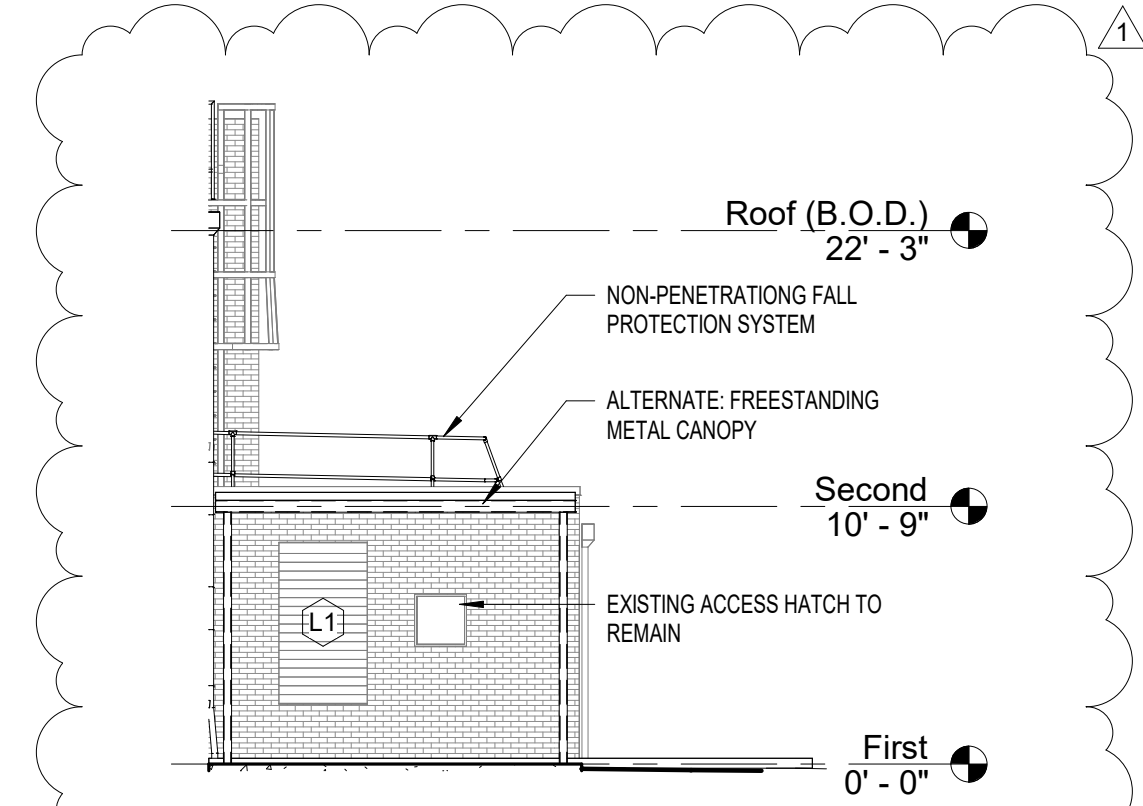
3 West
 1/8" = 1'-0"



4 South
 1/8" = 1'-0"



5 South Elevation @ Machine Room
 1/8" = 1'-0"



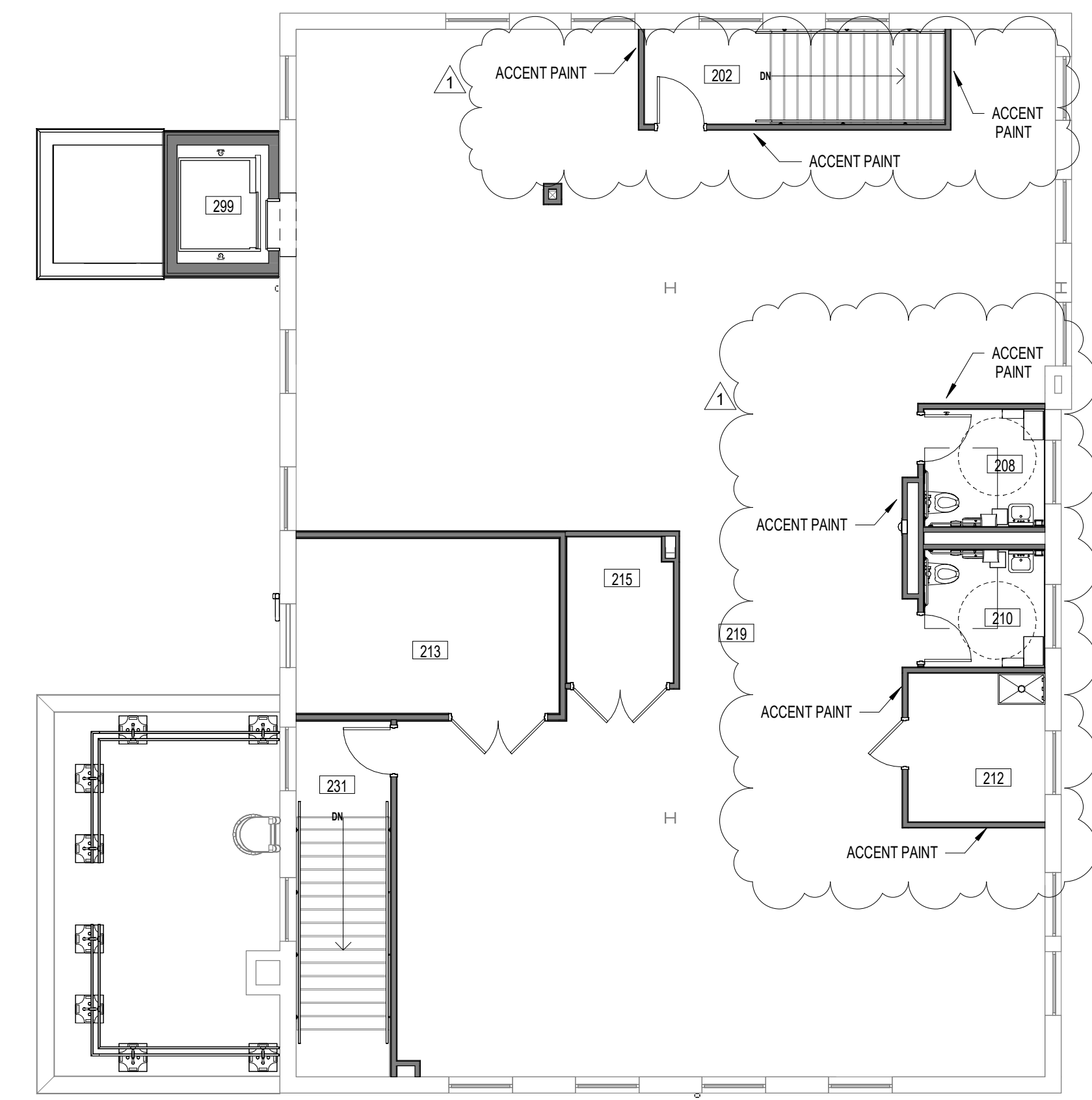
6 North Elevation @ Electrical Room
 1/8" = 1'-0"

FINISH SCHEDULE - BASE						
Number	Name	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Comments
100	Entry	Walk Off Carpet	Rubber	Paint	GWB	
101	Open Office / Workroom	Polished Concrete	Rubber	Paint	Paint	
101A	Office	Polished Concrete	Rubber	Paint	Paint	
101B	Proj. Mgr.	Polished Concrete	Rubber	Paint	Paint	
101C	Ops. Mgr.	Polished Concrete	Rubber	Paint	Paint	
102	Stair	Walk Off Carpet	Existing	Paint	2x2	
104	Office	Polished Concrete	Rubber	Paint	Paint	
110	Toilet	Porcelain Tile	Porcelain Tile	Paint/ Porcelain Tile	Paint	
112	Toilet	Porcelain Tile	Porcelain Tile	Paint/ Porcelain Tile	Paint	
114	Cust.	Sealed Concrete	Rubber	Paint	Paint	
118	Break	Polished Concrete	Rubber	Paint	Paint	
121	Storage / Staging	Sealed Concrete	Rubber	Paint	Paint	
131	Stair	Walk Off Carpet	Existing	Paint	2x2	
140	Mechanical	Sealed Concrete	Existing	Paint	2x2	
140A	Elec.	Sealed Concrete	Existing	Paint	2x2	
199	Elev Cab	Linoleum Tile	Rubber	Paint	2x2	
199A	Machine Room	Sealed Concrete	Rubber	Paint	Paint	
202	Stair	Existing	Existing	Paint	2x2	
208	Toilet	Porcelain Tile	Porcelain Tile	Paint/ Porcelain Tile	2x2	
210	Toilet	Porcelain Tile	Porcelain Tile	Paint/ Porcelain Tile	2x2	
212	Cust.	Sealed Concrete	Rubber	Paint	2x2	
213	Mech.	Sealed Concrete	Rubber	Paint	2x2	
215	Data	Sealed Concrete	Rubber	Paint	2x2	
219	Flex Space	Existing	Existing	Paint	2x2	
231	Stair	Existing	Existing	Paint	2x2	

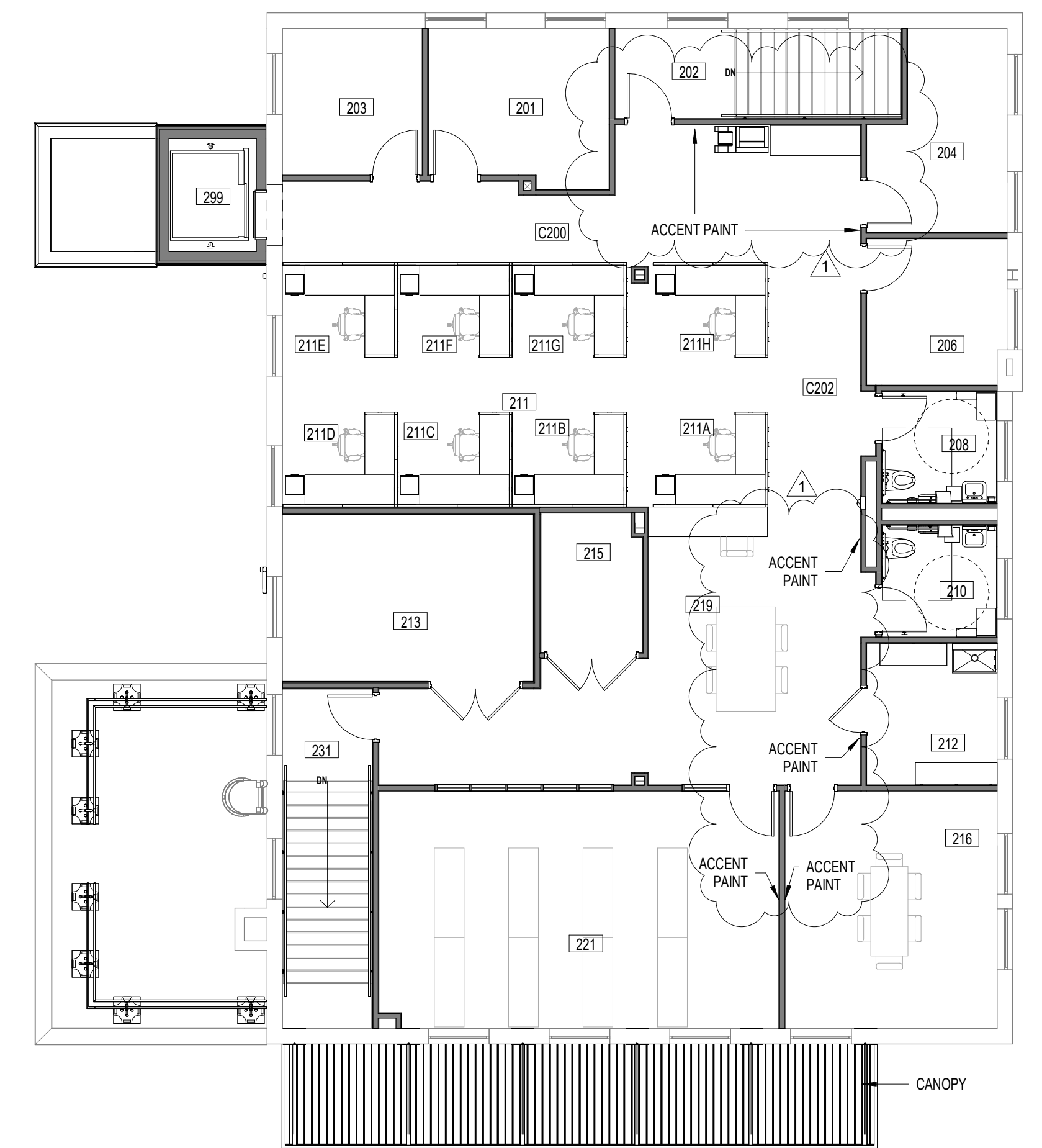


1 First Floor Finish Plan - Base + Alternates
1/8" = 1'-0"

FINISH SCHEDULE - BASE + ALTERNATES						
Number	Name	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Comments
100	Entry	Walk Off Carpet	Rubber	Paint	GWB	
101	Open Office / Workroom	Polished Concrete	Rubber	Paint	Paint	
101A	Office	Polished Concrete	Rubber	Paint	Paint	
101B	Proj. Mgr.	Polished Concrete	Rubber	Paint	Paint	
101C	Ops. Mgr.	Polished Concrete	Rubber	Paint	Paint	
102	Stair	Walk Off Carpet	Existing	Paint	2x2	
104	Office	Polished Concrete	Rubber	Paint	Paint	
110	Toilet	Porcelain Tile	Porcelain Tile	Paint/ Porcelain Tile	Paint	
112	Toilet	Porcelain Tile	Porcelain Tile	Paint/ Porcelain Tile	Paint	
114	Cust.	Sealed Concrete	Rubber	Paint	Paint	
118	Break	Polished Concrete	Rubber	Paint	Paint	
121	Storage / Staging	Sealed Concrete	Rubber	Paint	Paint	
131	Stair	Walk Off Carpet	Existing	Paint	2x2	
140	Mechanical	Sealed Concrete	Existing	Paint	2x2	
140A	Elec.	Sealed Concrete	Existing	Paint	2x2	
199	Elev Cab	Linoleum Tile	Rubber	Paint	2x2	
199A	Machine Room	Sealed Concrete	Rubber	Paint	Paint	
201	Office	Carpet	Rubber	Paint	2x2	
202	Stair	Existing	Existing	Paint	2x2	
203	Office	Carpet	Rubber	Paint	2x2	
204	Office	Carpet	Rubber	Paint	2x2	
206	Office	Carpet	Rubber	Paint	2x2	
208	Toilet	Porcelain Tile	Porcelain Tile	Paint/ Porcelain Tile	2x2	
210	Toilet	Porcelain Tile	Porcelain Tile	Paint/ Porcelain Tile	2x2	
211	Office Suite	Carpet	Rubber	Paint	2x2	
211A	Room	Carpet	Rubber	Paint	2x2	
211B	Room	Carpet	Rubber	Paint	2x2	
211C	Room	Carpet	Rubber	Paint	2x2	
211D	Room	Carpet	Rubber	Paint	2x2	
211E	Room	Carpet	Rubber	Paint	2x2	
211F	Room	Carpet	Rubber	Paint	2x2	
211G	Room	Carpet	Rubber	Paint	2x2	
211H	Room	Carpet	Rubber	Paint	2x2	
212	Cust.	Sealed Concrete	Rubber	Paint	2x2	
213	Mech.	Sealed Concrete	Rubber	Paint	2x2	
215	Data	Sealed Concrete	Rubber	Paint	2x2	
216	Conference	Carpet	Rubber	Paint	2x2	
219	Flex Space	Carpet	Rubber	Paint	2x2	
221	Conference/ Training	Carpet	Rubber	Paint	2x2	
231	Stair	Existing	Existing	Paint	2x2	
C100	Corridor	Polished Concrete	Rubber	Paint	Paint	
C200	Corridor	Carpet	Rubber	Paint	2x2	
C202	Corridor	Carpet	Rubber	Paint	2x2	



2 Second Floor Finish Plan - Base
1/8" = 1'-0"

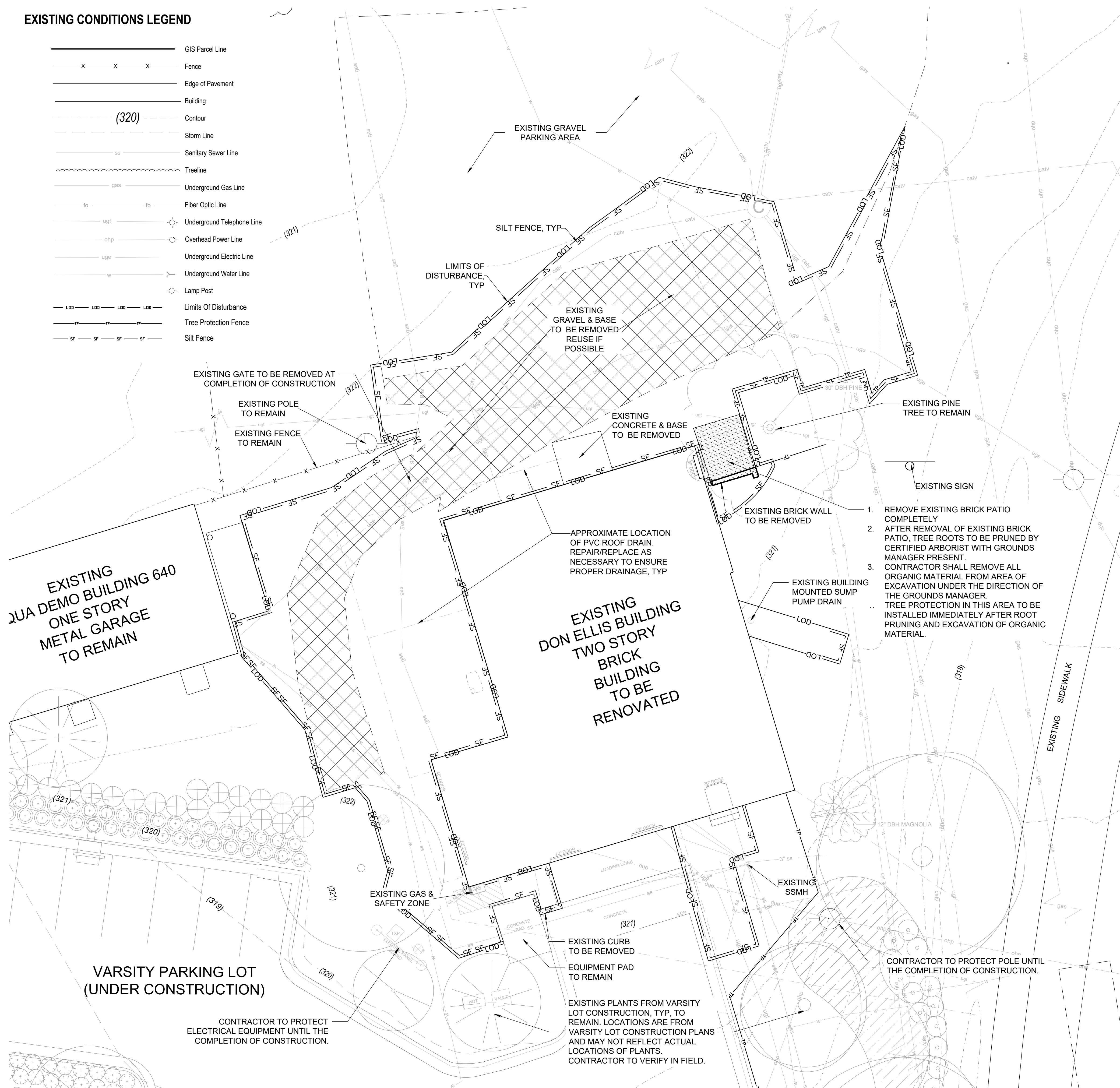


3 Second Floor Finish Plan - Base + Alternates
1/8" = 1'-0"



EXISTING CONDITIONS LEGEND

- GIS Parcel Line
- x-x-x- Fence
- Edge of Pavement
- Building
- (320) Contour
- - - Storm Line
- ss Sanitary Sewer Line
- Treeline
- gas Underground Gas Line
- fo Fiber Optic Line
- ugt Underground Telephone Line
- ohp Overhead Power Line
- uge Underground Electric Line
- w Underground Water Line
- Lamp Post
- Limits Of Disturbance
- Tree Protection Fence
- SF Silt Fence



PROPERTY DATA

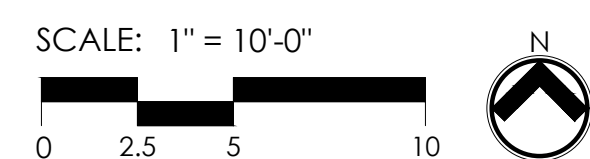
1. CURRENT OWNER: NORTH CAROLINA STATE UNIVERSITY
2. SITE ADDRESS: 1350 VARSITY DRIVE, RALEIGH, NC 27606
3. PIN: 794507874
4. DEED REFERENCE: DB 125 PG145
5. TOTAL SITE AREA: APPROXIMATELY 12.73 AC (SURVEYED)
6. AREA OF DISTURBANCE: 7,387 SF

EXISTING CONDITIONS NOTES

1. PROPERTY LINES ARE FROM WAKE COUNTY GIS.
2. UTILITY SURVEY (SUE) INFORMATION PROVIDED BY NCSU DATED 09/06/23.
3. EXISTING CONDITIONS & TOPOGRAPHIC INFORMATION PROVIDED BY NCSU ON 03/16/22. ADDITIONAL TOPOGRAPHIC INFORMATION PROVIDED BY NCSU ON 10/2/23. VERTICAL DATUM AND COORDINATE SYSTEM NAD83 (2011).
4. FINISHED FLOOR ELEVATIONS PROVIDED BY SURVEY BY DRAPER ADEN ON 10/05/22.
5. PROPOSED BUILDING PLANS PROVIDED BY SKINNER FARLOW KIRWAN ON 10/05/23.
6. PROJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS REFERENCED BY FEMA FLOOD INSURANCE RATE MAP NO. 3720079300K, EFFECTIVE DATE 7/19/2022.

DEMOLITION NOTES

1. THE CONTRACTOR SHALL NOTIFY THE N.C. ONE CALL CENTER AT 811 OR 1-800-632-4949 PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL NOTIFY THE LOCAL GOVERNING PUBLIC UTILITIES DEPARTMENT PRIOR TO STARTING WORK.
3. ALL DEMOLITION AND ANY SUBSEQUENT CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS SET FORTH AND APPROVED BY THE LOCAL GOVERNING MUNICIPALITY OR THE STATE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
4. THE CONTRACTOR SHALL NOT MAKE ANY LANE CLOSURES OR CHANGES TO THE EXISTING TRAVEL PATTERNS ON ANY PUBLIC STREET WITHOUT PRIOR APPROVAL FROM THE LOCAL GOVERNING MUNICIPALITY TRANSPORTATION DEPARTMENT AND/OR STATE TRANSPORTATION DEPARTMENT.
5. LANE CLOSURE, TRAFFIC CONTROL PLAN, OR PEDESTRIAN CONTROL PLAN TO BE COORDINATED WITH APPROPRIATE STAFF OF THE LOCAL GOVERNING MUNICIPALITY AND/OR STATE DEPARTMENT OF TRANSPORTATION PRIOR TO ANY CONSTRUCTION IN PUBLIC RIGHT-OF-WAY.
6. THE CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL REQUIREMENTS REGARDING REMOVAL AND DISPOSAL OF MATERIALS AND DEBRIS.
7. CONTRACTOR SHALL REFER TO CIVIL SHEETS FOR SANITARY SEWER AND WATER REMOVALS AND RELOCATIONS.
8. RELOCATION OF EXISTING UTILITIES TO BE COORDINATED WITH THE LOCAL UTILITY PROVIDER(S).
9. WHERE UTILITIES (TO BE REMOVED) IMPACT THE FOOTPRINT OF THE NEW BUILDING, CONTRACTOR SHALL EXCAVATE AND REMOVE AN ADDITIONAL 2 FEET OF SOILS TO EITHER SIDE OF PIPE, AND 1 FOOT BELOW TO REMOVE UNSUITABLE SOILS, IF UNSUITABLE SOILS EXIST.
10. CLEANOUTS LOCATED IN AREAS OF DEMOLITION OR SUBSEQUENT CONSTRUCTION THAT ARE TO REMAIN, SHALL BE PROTECTED FROM DAMAGE AND RAISED TO FLUSH WITH NEW GRADE.
11. ELECTRICAL OR GAS UTILITY SERVICES TO BE REMOVED SHALL BE REMOVED AND RELOCATED (AS INDICATED) BY THE UTILITY PROVIDER. CONTRACTOR SHALL SCHEDULE AND COORDINATE THIS WORK WITH THE APPROPRIATE SERVICE PROVIDER. ALL SERVICES SHOULD BE RE-INSTALLED PRIOR TO THE INSTALLATION OF PAVEMENT, SIDEWALKS, CURB AND GUTTER, OR OTHER PERMANENT FEATURES.
12. REMOVE EXISTING CONCRETE (WHERE REQUESTED) TO FIRST COLD JOINT OR SAWCUT JOINT TO OBTAIN A CLEAN EDGE FOR NEW CONSTRUCTION. SAWCUT EXISTING ASPHALT DRIVE AT LIMITS OF NEW CURBING TO OBTAIN A CLEAN EDGE.
13. CONTRACTOR SHALL RETAIN AND STOCKPILE CONCRETE WHEELSTOPS WHICH ARE IN USEABLE CONDITION FOR RE-INSTALLATION AT THE END OF THE PROJECT.
14. CONTRACTOR SHALL RESTORE THE LAYDOWN AND STAGING AREA TO ORIGINAL CONDITIONS AND TO THE SATISFACTION OF THE OWNER, PRIOR TO DEMOBILIZATION AT THE CONCLUSION OF THE PROJECT.
15. CLEAN SOILS SHALL BE UTILIZED FOR BACKFILL. COMPACTION OF THESE SOILS PERFORMED IN ACCORDANCE WITH SPECIFICATIONS, GEOTECHNICAL REPORT, AND SITE PLAN.
16. ALL FENCING TO BE REMOVED SHALL BE REMOVED AT NEXT NEAREST POLE.
17. ALL GRAVEL TO BE REMOVED (SURFACE OR SUBSURFACE) SHALL BE STOCKPILED AND REUSED ON SITE WHERE POSSIBLE.
18. ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE REMOVED COMPLETELY, INCLUDING ALL SUBGRADE MATERIALS DIRECTLY ASSOCIATED WITH ITEMS TO BE REMOVED.
19. ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE DISPOSED OF LEGALLY OFFSITE UNLESS OTHERWISE NOTED ON THIS PLAN.
20. ALL TREES TO BE REMOVED SHALL BE GROUND DOWN TO A MINIMUM DEPTH OF 12" BELOW PROPOSED FINISH GRADE.
21. ALL TREE PROTECTION FENCING SHALL REMAIN IN PLACE DURING DEMOLITION AND CONSTRUCTION.
22. CONTRACTOR SHALL NOT STOCKPILE SOILS OR CONSTRUCTION EQUIPMENT WITHIN ROOT ZONES OF EXISTING TREES TO REMAIN. ANY DAMAGED TREES SHALL BE REPLACED AT CONTRACTOR'S EXPENSE.





SITE PLAN LEGEND

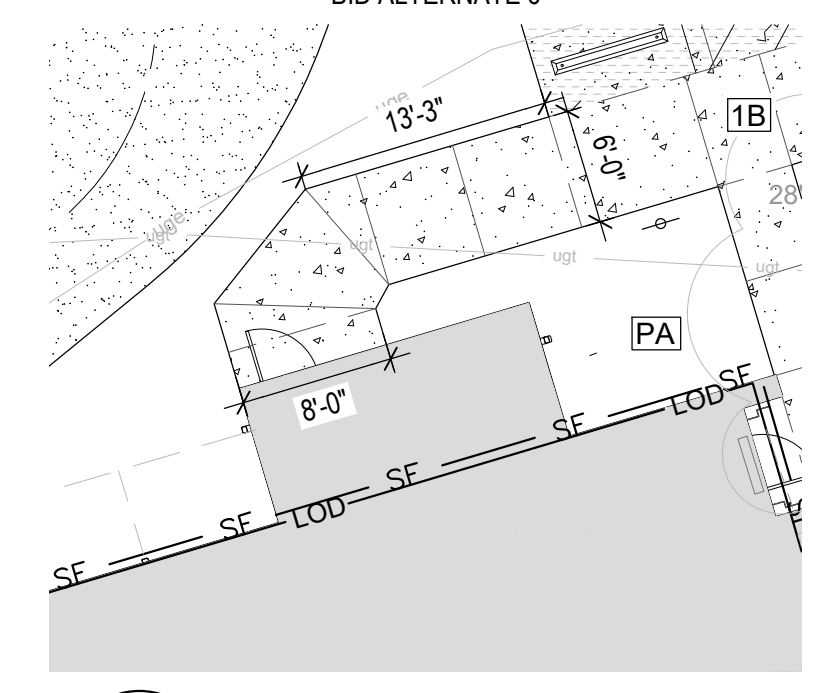
SYMBOL	PROPOSED SITE ITEM	DETAIL	FINISH
[Symbol]	1A C.I.P. CONCRETE PAVING, HEAVY DUTY	2/L202	MEDIUM BROOM
[Symbol]	1B C.I.P. CONCRETE PAVING, LIGHT DUTY	2/L202	MEDIUM BROOM
[Symbol]	1C C.I.P. CONCRETE PAVING, THICKENED EDGE	3/L202	MEDIUM BROOM
[Symbol]	1D GRAVEL	1/L202	
[Symbol]	2A 4" THERMOPLASTIC PAINTED WHITE LINES		
[Symbol]	2B CONCRETE WHEELSTOP	4/L202	
[Symbol]	2C ADA ACCESSIBLE PARKING SPACE (VAN ACCESSIBLE)	6/L202	
[Symbol]	2D ADA ACCESSIBLE PARKING SPACE	6/L202	
[Symbol]	2E ADA ACCESSIBILITY SIGN	5/L202	
[Symbol]	2F STEEL PIPE BOLLARD	7/L202	
[Symbol]	2G SCORE JOINTS	8/L202	
[Symbol]	2H EXPANSION JOINTS		

2J BIKE RACKS
 PROVIDED BY OWNER
 INSTALLED BY
 MANUFACTURE
 RECOMMENDATION

SYMBOL	BY OTHER CONSULTANTS	
K1	CANOPY COLUMN	PER ARCH
K2	RESERVED OPEN SPACE FOR EMERGENCY CHILLER	PER ARCH
K3	OVERHEAD CANOPY	PER ARCH
K4	HANDRAIL	PER ARCH

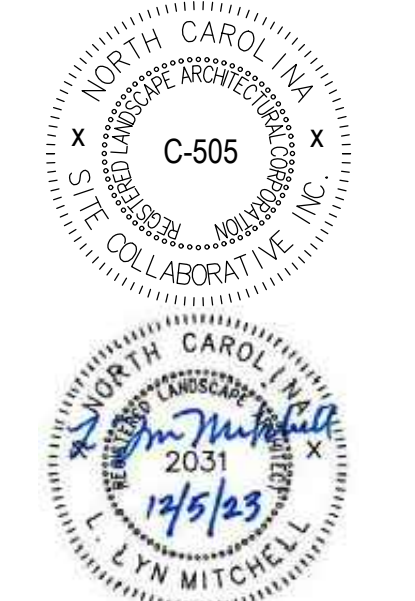
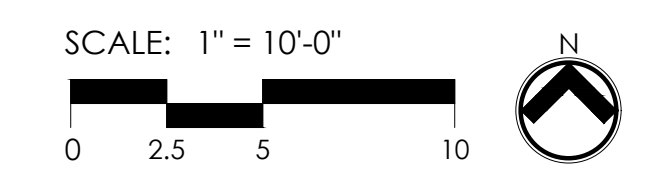
SYMBOL	EXISTING SITE ITEM TO REMAIN	
E1	EXISTING LIGHT POLE	
E2	EXISTING CONCRETE PAVING	2/L203
E3	EXISTING BRICK PATIO	
E4	EXISTING FENCE	1/L203

SYMBOL	OTHER	
PA	PLANTING AREA	
LOD	LIMITS OF DISTURBANCE	
TP	TREE PROTECTION FENCE	2/L203
SF	SILT FENCE	1/L203
ALT 4	BID ALTERNATE 4	
ALT 6	BID ALTERNATE 6	



1 BID ALTERNATE 4-VESTIBULE
 SCALE: 1" = 10'-0"

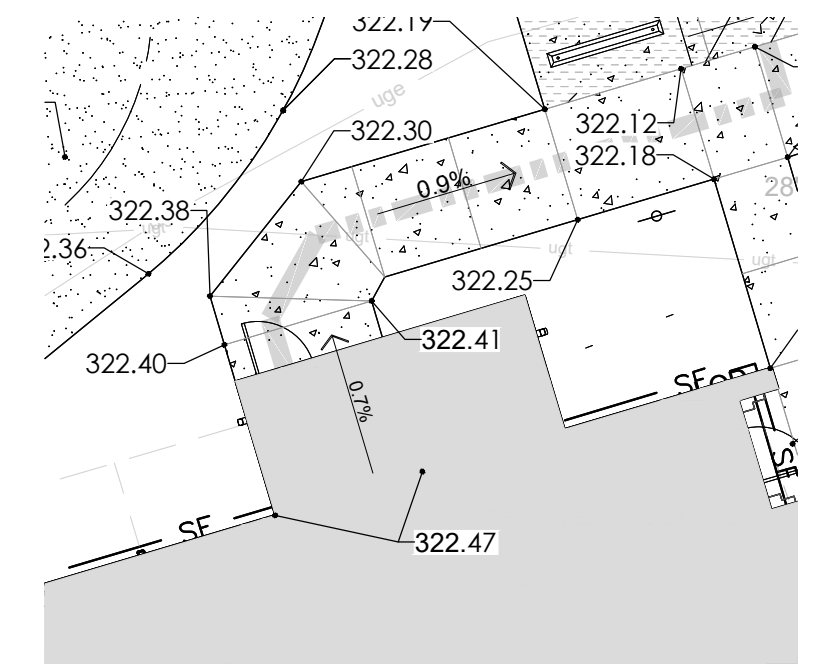
REFER TO L-201 FOR CONCRETE JOINT SCORING PATTERNS AND GENERAL SITE NOTES





GRADING NOTES

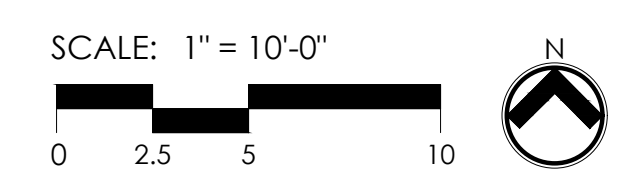
1. ORIGINAL EXISTING CONDITIONS SHOWN AS 'EXISTING' IN THIS PLAN SET HAS BEEN COMPILED FROM SURVEY DATA PROVIDED BY WAKE IMAPS. CONTRACTOR TO FIELD VERIFY ALL INFORMATION AND REPORT ANY DISCREPANCIES.
2. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
3. ALL PAVEMENTS TO SLOPE POSITIVELY AWAY FROM ALL BUILDINGS. PONDING OF WATER IS PROHIBITED.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF EROSION CONTROL METHODS DURING CONSTRUCTION, AND THE OWNER IS RESPONSIBLE FOR MAINTENANCE OF ALL PERMANENT EROSION CONTROL METHODS AFTER CONSTRUCTION IS COMPLETE, IF ANY PERMANENT METHODS ARE REQUIRED.
5. CONSTRUCTION AND MAINTENANCE OF ALL EROSION CONTROL DEVICES SHALL CONFORM TO THE STANDARDS SET FORTH IN THE CITY OF RALEIGH EROSION AND SEDIMENT CONTROL MANUAL.
6. INSPECTOR REFERS TO AUTHORIZED REGULATORY AGENCY SEDIMENTATION AND EROSION CONTROL INSPECTOR OR HIS/HER REPRESENTATIVE. FIELD INSPECTIONS MAY REQUIRE ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS DEEMED NECESSARY BY THE INSPECTOR, CLIENT, AND/OR CLIENT'S REPRESENTATIVES.
7. WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDED AREA WITHIN 24 HOURS OF SEEDING.
8. DURING UNSUITABLE GROWING SEASONS, MULCH WILL BE USED AS A TEMPORARY COVER ON SLOPES THAT ARE 4:1 OR STEEPER, MULCH WILL BE ANCHORED.
9. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE. PLEASE CALL THE REGULATORY AUTHORITY FOR AN INSPECTION.
10. INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES EVERY 7 DAYS AND AFTER EACH SIGNIFICANT RAINFALL (0.5 INCHES OR GREATER) AND DOCUMENT WITH INSPECTION REPORTS.
11. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE.
12. LOCATE STOCKPILES UPSLOPE FROM EROSION CONTROL MEASURES. ALL SOIL STOCK PILES SHALL HAVE APPROPRIATE EROSION CONTROL PER THE LATEST VERSION OF THE CITY OF RALEIGH EROSION AND SEDIMENT CONTROL MANUAL INCLUDING SEEDING AND SILT FENCE AROUND THE BASE OF THE STOCK PILE.

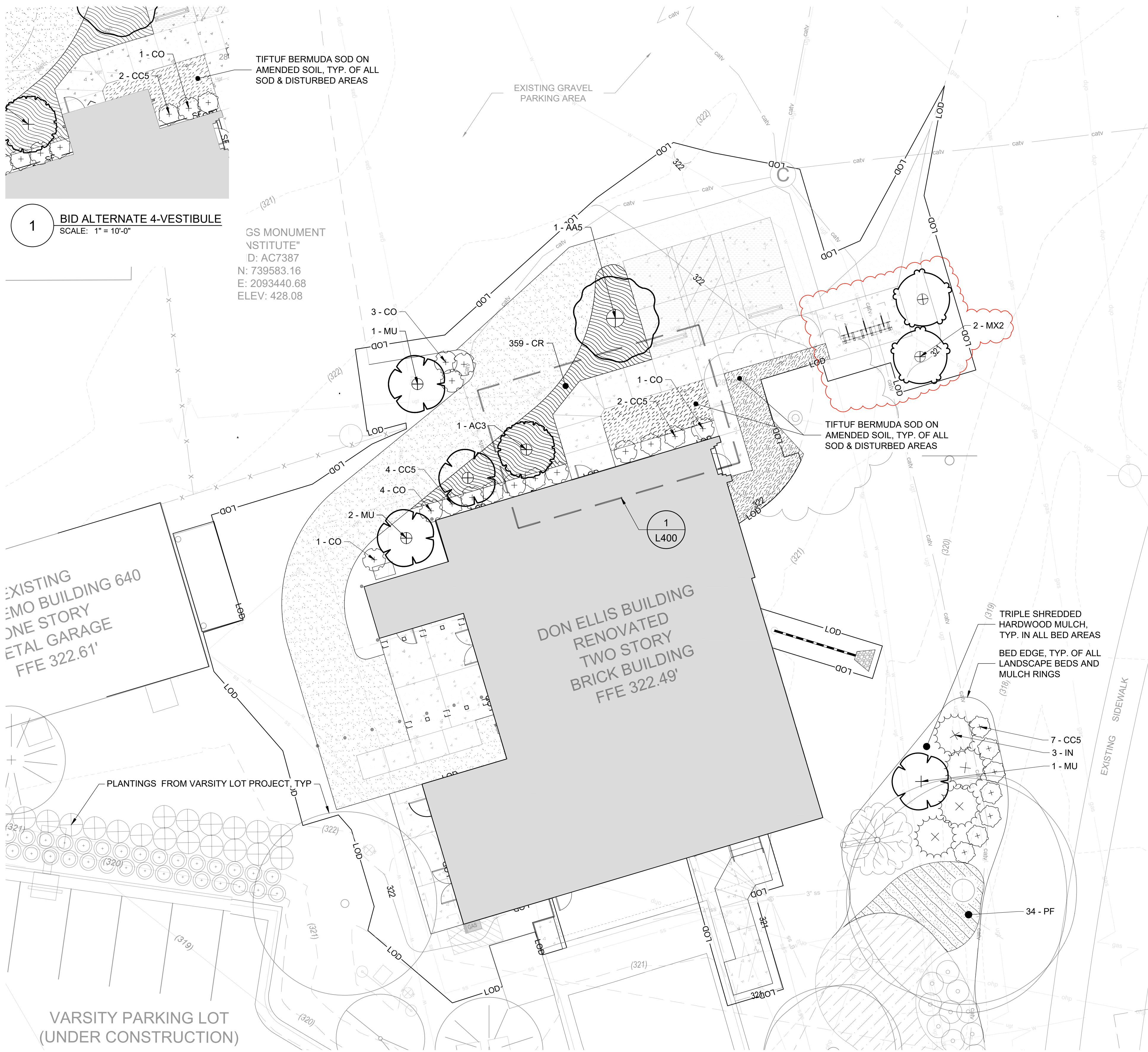


1 BID ALTERNATE 4-VESTIBULE
SCALE: 1" = 10'-0"

GRADING LEGEND

KEY	DESCRIPTION
EX	EXISTING GRADE
HP	HIGH POINT
LP	LOW POINT
FG	FIELD GRADE
TP	TOP OF PIPE
BP	BOTTOM OF PIPE
X%	SLOPE DIRECTION - POINTS DOWNWARD
(Dashed line)	ACCESSIBLE ROUTE
(Solid line)	LIMITS OF DISTURBANCE
(Arrow)	TREE PROTECTION FENCE
(Wavy line)	SILT FENCE





1 BID ALTERNATE 4-VESTIBULE
SCALE: 1" = 10'-0"

GS MONUMENT
NSTITUTE*
D: AC7387
N: 739583.16
E: 2093440.68
ELEV: 428.08

EXISTING
ONE STORY
METAL GARAGE
FFE 322.61'

DON ELLIS BUILDING
RENOVATED
TWO STORY
BRICK BUILDING
FFE 322.49'

VARSITY PARKING LOT
(UNDER CONSTRUCTION)

PLANT SCHEDULE								
TREES	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	B&B OR CONT.	REMARKS	
AC3	4	Acer palmatum dissectum 'Crimson Queen'	Crimson Queen Japanese Maple	4'-5'	2" MIN.	CONTAINER	Full, Dense	
AA5	3	Acer x freemanii 'Armstrong'	Armstrong Freeman Maple	10'-12'	2" MIN.	B&B	Full, Dense, Upright / Strong, Central Leader	
MU	10	Magnolia grandiflora 'TMGH' TM	Alta Southern Magnolia	8' MIN.	2" MIN.	B&B	Full, Dense, Upright / Strong, Central Leader	
MX2	5	Magnolia x 'Jane'	Jane Magnolia	6'-8'	2" MIN.	B&B	Full, Dense	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH	CONT.	REMARKS	
CC5	28	Camellia sasanqua 'Autumn Moon'	Autumn Moon Camellia	36" MIN.			Full, Dense, Upright	
CO	32	Camellia sasanqua 'Green 02-003'	October Magic® Ruby™ Camellia	24" MIN.			Full, Dense	
HN	5	Hydrangea macrophylla 'Nikko Blue'	Nikko Blue Hydrangea	18" MIN.			Full, Dense	
IN	4	Ilex x 'Nellie R. Stevens'	Nellie R. Stevens Holly	24" MIN.	5 GAL MIN.		Full, Dense	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	CONT. SIZE	SPACING	REMARKS
CR	1,438	Carex pensylvanica	Pennsylvania Sedge	12" MIN.		FLAT	12" o.c.	Plant when not dormant
PF	34	Pennisetum alopecuroides 'Foxtrot'	Foxtrot Fountain Grass	12"	12"	1 GAL.	30" o.c.	

PLANTING NOTES

- NCSU SHALL PURCHASE AND INSTALL ALL PLANT MATERIAL.
- TYPICAL DUMPSTER SCREENING TO BE LOCATED AND COORDINATED WITH LANDSCAPE ARCHITECT.
- ALL DISTURBED AREAS NOT WITHIN TRAFFIC AREAS SHALL RECEIVE SEED OR SOD.
- ROUGH GRADING TO BE COMPLETED PRIOR TO THE START OF PLANT INSTALLATION. SUBSTANTIAL COMPLETION SIGN-OFF BY LANDSCAPE ARCHITECT CONTRACTOR TO ENSURE NO CHANNELIZED FLOWS AROUND THE SITE.
- ALL DISTURBED AREAS SHALL BE SEEDED/SODDED WITH "TIFTUF" BERMUDA GRASS PER THE SEEDING/SODDING NOTES BELOW.
- CONTRACTOR RESPONSIBLE FOR LOCATING ALL UTILITIES AND UNDERGROUND IMPEDIMENTS PRIOR TO BEGINNING PLANTING.
- ALL WEEDS, NON-NATIVE INVASIVE SPECIES, AND EXOTIC SPECIES LOCATED WITHIN THE PROJECT CONTRACTOR LIMITS SHALL BE ELIMINATED PRIOR TO PLANTING BED CREATION, PLANTING, AND SEEDING/SODDING OPERATIONS.
- PLANTING SHOULD OCCUR IMMEDIATELY AFTER CONSTRUCTION TO STABILIZE AREAS OF BARE SOIL.
- IT SHALL BE NOTED THAT ALL SECTIONS OF THE SITE THAT ARE SLOPED 3:1 OR HIGHER WILL BE COVERED WITH EROSION CONTROL STABILIZATION COIR FABRIC (WITH 1" SQUARE OPENINGS) PRIOR TO PLANTING TO ENSURE IMMEDIATE STABILIZATION. LANDSCAPE CONTRACTOR SHALL CUT FABRIC AT EACH PLANT LOCATION AND PLACE PLANTS ACCORDING TO PLAN. ALL FABRIC SHALL BE RE-STAKED PER ENGINEERS ORIGINAL DRAWINGS IMMEDIATELY AFTER PLANTING.
- PLANTS ARE TO BE PURCHASED BY BOTANICAL NAMES. THEY SHALL BE REPRESENTATIVE OF THEIR SPECIES, MEET ALL NOTED CONDITIONS OF SPECIFICATIONS, AND SHALL BE IN VIGOROUS GROWING CONDITION MEETING ANSI STANDARD Z60.
- LANDSCAPE ARCHITECT OR OWNER MAINTAINS RIGHT TO REJECT ANY PLANT DUE TO AESTHETICS OR STRUCTURAL DEFICIENCY AT ANY TIME.
- CONTRACTOR RESPONSIBLE FOR FURNISHING AND INSTALLING ALL PLANTS SHOWN ON PLANS IN LOCATIONS SHOWN. QUANTITIES GIVEN ON THE PLANT LEGEND ARE FOR CONTRACTOR'S CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE PLANS SHALL OVERRULE THE PLANT LEGEND. CONTRACTOR SHALL LOCATE ALL PLANTS AWAY FROM KNOWN PERMANENT FIXTURES. IF CONFLICT ARISES WITH PLAN, CONTRACTOR SHALL NOTIFY PROJECT MANAGER OR DESIGNEE PRIOR TO PROCEEDING.
- ALL PLANT MATERIAL SHALL CONFORM TO OR EXCEED THE AMERICAN STANDARD FOR NURSERY STOCK (LATEST EDITION) AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL BE FREE OF ALL PESTS, DISEASES, AND CANKERS, IN HEALTHY CONDITION, AND FREE OF MECHANICAL DAMAGE AT THE TIME OF PLANTING.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE A HEALTHY AND VIABLE PLANT AND THE PLANT SHALL BE REJECTED IF DEEMED UNHEALTHY OR UNFIT AT ANY TIME DURING THE CONTRACT OR WARRANTY DURATION.
- IF ANY PLANT/MATERIAL SUBSTITUTIONS ARE REQUESTED BY CONTRACTOR, THEN NOTICE SHALL BE GIVEN TO PROJECT MANAGER OR DESIGNEE AT MINIMUM SEVENTY-TWO (72) HOURS (NOT INCLUDING WEEKENDS) PRIOR TO DESIRED ORDERING DATE/TIME. WHEN SUBSTITUTIONS ARE REQUESTED BY CONTRACTOR, SUGGESTED ACCEPTABLE REPLACEMENTS SHALL ALSO BE PRESENTED AT TIME FOR FULL AND COMPLETE REVIEW BY LANDSCAPE ARCHITECT OR OWNER.
- BALLED AND BURLAPPED PLANTS/TREES TO BE PLANTED PRIOR TO CONTAINER OR BEDDING PLANTS.
- BALLED AND BURLAPPED MATERIAL SHALL COMPLY WITH THE FOLLOWING GUIDELINES:
 - TREES DESIGNATED B&B SHALL BE PROPERLY DUG WITH FIRM, NATURAL BALLS OF SOIL RETAINING AS MANY FIBROUS ROOTS AS POSSIBLE, IN SIZES AND SHAPES AS SPECIFIED IN THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
 - ROOT BALLS SHALL BE FIRMLY WRAPPED WITH NONSYNTHETIC, ROTTABLE BURLAP AND SECURED WITH NAILS AND HEAVY, NONSYNTHETIC TWINE.
 - ROOT COLLAR SHALL BE APPARENT AT SURFACE OF BALL, OR THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING EXCESS SOIL FROM THE TOP OF THE ROOTBALL.
 - REMOVE ALL BURLAP, LACING, AND WIRE BASKET FROM AT LEAST THE TOP 1/2 OF THE ROOTBALL AND DISCARD FROM PLANTING HOLE.
 - DO NOT MANEUVER BY TRUNK. HANDLE BY ROOT BALL ONLY.
- CONTAINERIZED PLANTS SHALL COMPLY WITH THE FOLLOWING GUIDELINES:
 - MATERIAL SHALL HAVE FIRM, NATURAL BALLS OF SOIL RETAINING AS MANY FIBROUS ROOTS AS POSSIBLE, IN SIZES AND SHAPES AS SPECIFIED IN THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
 - ROOT COLLAR SHALL BE APPARENT AT SURFACE OF BALL, OR THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING EXCESS SOIL FROM THE TOP OF THE ROOTBALL.
 - REMOVE CONTAINER PRIOR TO PLANTING.
- TREES TO BE STAKED WILL BE DESIGNATED BY THE LANDSCAPE ARCHITECT. TREE STAKING FOR CANOPY AND LARGE EVERGREEN TREES SHALL NOT EXCEED 90 DAYS.
- PLANT BED PREPARATION:
 - ALL PLANT BEDS ARE TO RECEIVE A MINIMUM OF 4" OF APPROVED TOPSOIL TILLED IN TO A DEPTH OF 8" TO ENSURE INTEGRATION WITH EXISTING SOIL.
 - APPROVED TOPSOIL IS TO BE PREFERABLY FROM ON-SITE STOCKPILE FROM STRIPPING OPERATIONS - SEE EROSION AND SEDIMENT CONTROL PLANS.
 - IF ON-SITE TOPSOIL IS NOT AVAILABLE, CONTRACTOR SHALL PROVIDE TO SITE ACCORDINGLY.
- ALL MULCH TO BE CERTIFIED TO BE FREE OF WEEDS, NON-NATIVE INVASIVE SPECIES AND THEIR LARVAE. MULCH SAMPLE SUBMITTAL SHALL BE PROVIDED TO LANDSCAPE ARCHITECT BEFORE SITE DELIVERY.

SEEDING/SODDING NOTES

- ROUGH GRADING TO BE COMPLETED PRIOR TO THE START OF PLANT INSTALLATION. SUBSTANTIAL COMPLETION SIGN-OFF BY LANDSCAPE ARCHITECT CONTRACTOR TO ENSURE NO CHANNELIZED FLOWS AROUND THE SITE.
- ALL SEEDED/SODDED AREAS SHALL BE FINISHED GRADE AT THE THICKNESS OF THE SOD.
- NO SEEDED/SODDED AREAS SHALL BE SODDED UNTIL ALL OTHER CONSTRUCTION ACTIVITIES, INCLUDING PLANTING AND MULCHING HAVE OCCURRED AND LANDSCAPE ARCHITECT HAVE REVIEWED THE FINAL GRADING.
- SOD AREAS WILL BE ACCEPTED WHEN IN COMPLIANCE WITH ALL THE FOLLOWING CONDITIONS:
 - ROOTS ARE THOROUGHLY KNIT TO THE SOIL
 - ABSENCE OF VISIBLE JOINTS
 - ALL AREAS SHOW A UNIFORM STAND OF SPECIFIED GRASS IN HEALTHY CONDITION
 - AT LEAST 30 DAYS HAVE ELAPSED SINCE THE COMPLETION OF WORK UNDER THIS SECTION.
- QUALITY GUARANTEE:
 - SOD SHALL BE UNIFORM IN COLOR, LEAF TEXTURE, LEAF AND ROOD DENSITY, AND FREE FROM WEED, DISEASES, AND OTHER VISIBLE IMPERFECTIONS AT TIME OF FINAL ACCEPTANCE. GUARANTEE DOES NOT COVER DAMAGE AS A RESULT OF FERTILIZERS, PESTICIDES, OR OTHER APPLICATIONS NOT SUPERVISED BY THE CONTRACTOR OR AS A RESULT OF ACTS OF GOD OR VANDALISM.
 - SEED SHALL BE UNIFORM IN COLOR, LEAF TEXTURE, LEAF AND ROOT DENSITY, AND FREE FROM WEED, DISEASES, AND OTHER VISIBLE IMPERFECTIONS AT TIME OF FINAL ACCEPTANCE. GUARANTEE DOES NOT COVER DAMAGE AS A RESULT OF FERTILIZERS, PESTICIDES, OR OTHER APPLICATIONS NOT SUPERVISED BY THE CONTRACTOR OR AS A RESULT OF ACTS OF GOD OR VANDALISM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SEED/SOD IS PROPERLY IRRIGATED DURING THE GROW-IN PERIOD AND SHALL BE RESPONSIBLE IF THE SOD SUFFERS IRREPARABLE HARM.
- SEED/SOD IS SUBJECT TO INSPECTION AND ACCEPTANCE. LANDSCAPE ARCHITECT AND/OR CLIENT RESERVES THE RIGHT TO REJECT AT ANY TIME OR PLACE PRIOR TO ACCEPTANCE, ANY WORK AND SOD WHICH IN THE LANDSCAPE ARCHITECTS OPINION FAILS TO MEET THESE SPECIFICATIONS REQUIREMENTS.
- SOD STANDARDS:
 - GENERAL: HEALTHY, THICK TURF HAVING UNDERGONE A PROGRAM OF REGULAR FERTILIZATION, MOWING AND WEED CONTROL; FREE OF OBJECTABLE WEEDS; UNIFORM IN GREEN COLOR, LEAF TEXTURE AND DENSITY; HEALTHY, VIGOROUS ROOT SYSTEM; INSPECTED AND FOUND FREE OF DISEASE, NEMATODES, PEST AND PEST LARVAE BY THE ENTOMOLOGIST OF THE STATE DEPARTMENT OF AGRICULTURE.
 - EACH PIECE OF SOD: SANDY-LOAM SOIL BASE THAT WILL NOT BREAK, CRUMBLE OR TEAR DURING SOD INSTALLATION.
 - THICKNESS: MINIMUM 3/4" THICK, EXCLUDING THE TOP GROWTH THATCH.
 - THATCH: NOT TO EXCEED 1/2" UNCOMPRESSED.
 - SIZE: CUT IN STRIPS 18" WIDE NO MORE THAN 24 HOURS PRIOR TO DELIVERY.
- SOD DELIVERY, STORAGE AND HANDLING GUIDELINES ARE AS FOLLOWS:
 - SOD SHALL BE DELIVERED ON PALLETS PROPERLY LOADED ON VEHICLES AND WITH ROOT SYSTEM PROTECTED FROM EXPOSURE TO SUN, WIND, AND HEAT IN ACCORDANCE WITH STANDARD PRACTICE AND LABELED WITH BOTANICAL AND COMMON NAME OF EACH GRASS SPECIES IN ACCORDANCE WITH FEDERAL SEED ACT. SOD THAT HAS BEEN DAMAGED BY POOR HANDLING OR IMPROPER STORAGE IS SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT OR OWNER.
 - PROTECT FROM DEHYDRATION, CONTAMINATION, FREEZING AND HEATING AT ALL TIMES. KEEP STORED SOD MOIST AND UNDER SHADE OR COVERED WITH MOISTENED BURLAP.
 - DO NOT DROP SOD ROLLS FROM CARTS, TRUCKS OR PALLETS.
 - DO NOT DELIVER MORE SOD THAN CAN BE INSTALLED WITHIN 36 HOURS.
 - DO NOT STACK SOD MORE THAN 2 FEET DEEP.
- SEED/SODDED BED PREPARATION:
 - ALL DEBRIS, ROCKS, ETC. LARGER THAN 5" ARE TO BE REMOVED PRIOR TO SEEDING/SODDING OR PLANTING.
 - ALL AREAS TO BE SEEDED/SODDED ARE TO RECEIVE A MINIMUM OF 2" OF APPROVED TOPSOIL TILLED INTO A DEPTH OF 4" TO ENSURE INTEGRATION WITH EXISTING SOIL.
 - APPROVED TOPSOIL IS TO BE PREFERABLY FROM ON-SITE STOCKPILE FROM STRIPPING OPERATIONS - SEE EROSION AND SEDIMENT CONTROL PLANS.
 - IF ON-SITE TOPSOIL IS NOT AVAILABLE, CONTRACTOR SHALL PROVIDE TO SITE ACCORDINGLY.

