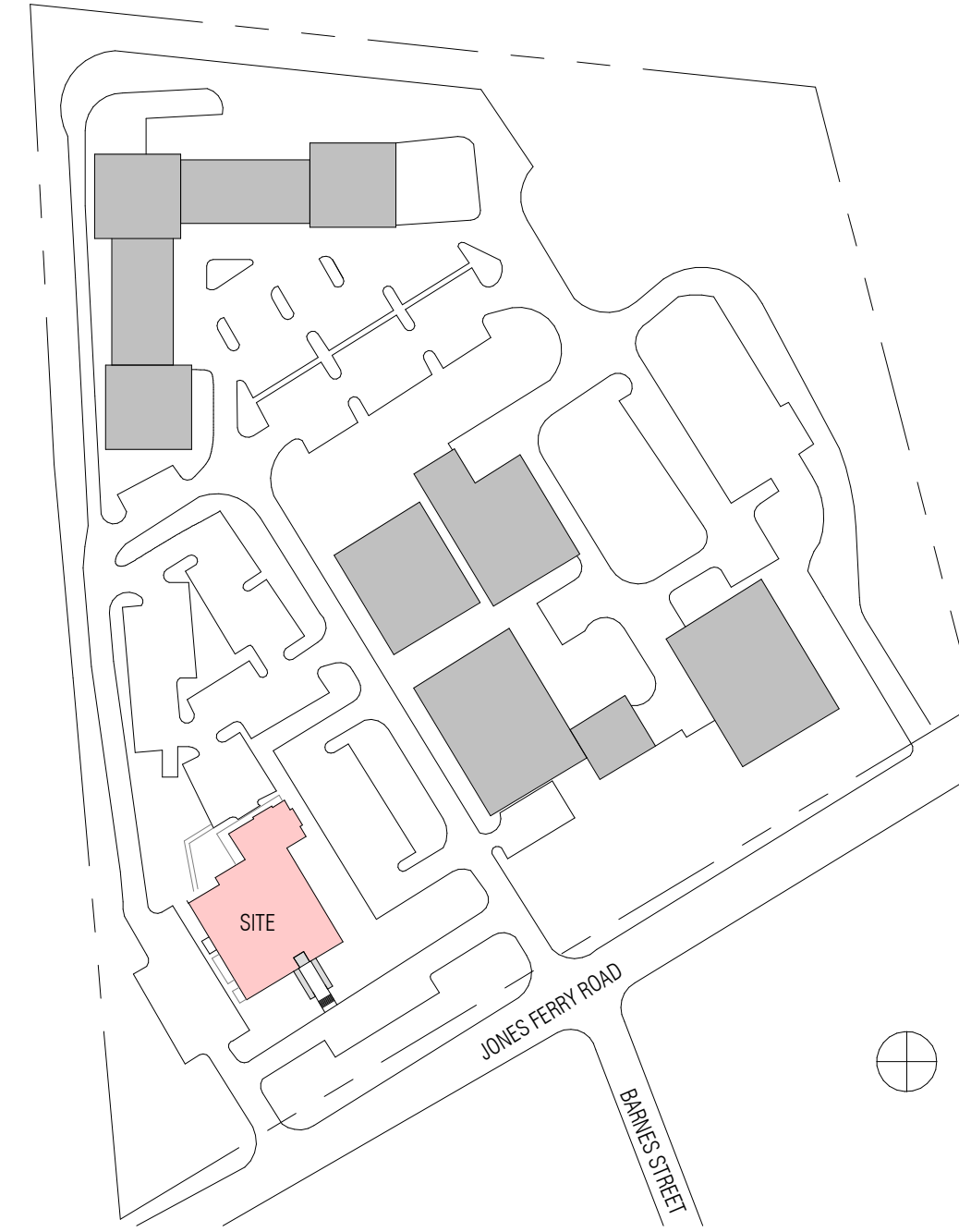


OWASA ADMINISTRATIVE BUILDING COPING AND EIFS IMPROVEMENTS

400 JONES FERRY ROAD | CARRBORO, NC | 27510 | CONSTRUCTION DOCUMENTS | OCTOBER 27, 2023



SHEET LIST	
SHEET NUMBER	SHEET NAME
A-0.1	CODE SUMMARY
A-0.2	SITE PLAN
A-1.3	ROOF PLAN
A-3.1	EXTERIOR ELEVATIONS
A-3.2	EXTERIOR ELEVATIONS
A-4.1	WALL SECTIONS
A-4.2	WALL SECTIONS
A-6.1	PLANTER DETAILS

A/C	Air Conditioning	EOS	Edge of slab	MACH	Machine	SF	Square Foot (Feet)
ACP	Acoustic Ceiling Panel	EQ	Equal	MAINT	Maintenance	SHR	Shower
ACT	Acoustic Ceiling Tile	EQUIP	Equipment	MATL	Material	SHT	Sheet
ACST	Acoustic	ESCAL	Escalator	MAX	Maximum	SHTHG	Sheathing
AHU	Air Handling Unit	EV	Electric Vehicle	MASRY	Masonry	SHV	Shelving
AD	Area Drain	EXH	Exhaust	MC	Medicine Cabinet	SIM	Similar
ADJ	Adjust (able) (ing)	EXST	Existing	MDF	Medium Density Fiberboard	SLNT	Sesant
AFF	Above Finished Floor	EXT	Exterior	MDO	Medium Density Overlay	SNDV(R)	Sanitary Napkin Dispenser (Receptacle)
ALT	Alternate	FA	Fire Alarm	MECH	Mechanical	SP	Space(s)
ALUM	Aluminum	FAAP	Fire Alarm Anunciator Panel	MEMB	Membrane	SPEC	Specification
ANOD	Anodized	FAFP	Fire Alarm Anunciator Panel	MFR	Manufacture(r)	SPKR	Speaker
AP	Access Panel	FACP	Fire Alarm Control Panel	MH	Manhole	SQ	Square
APPROX	Approximate	FCM	Fiber Cement	MIN	Minimum	SS	Solid Surface
ARCH(L)	Architect (Lural)	FD	Floor Drain	MIRR	Mirror	STD	Standard
AUTO	Automatic	FE(C)	Fire Extinguisher (Cabinet)	MISC	Miscellaneous	STND	Stained
AWP	Acoustical Wall Panel	FF	Finished Floor (Face)	MO	Masonry Opening	STR	Storage
		FFC	Fire Hose Cabinet	MS	Mechostade	STRCT	Structural
		FIN	Finished	MTD	Mount(ed)	SUSP	Suspended
		FLR(G)	Floor(ing)	MTL	Metal	SV	Sheet Vinyl
		FNDN	Foundation	N	North	SVS	System
		FO	Face of, Finished Opening	NAT	Natural	T&G	Tongue and Groove
		FR	Fire Resistant	NIC	Not in Contract	TB	Towel Bar
		FRP	Fiber Resistant Panel	NOM	Nominal	TOC	Top of Concrete
		FT	Foot	NTS	Not to Scale	TOD	Top of Deck
		FTG	Footing	OA	Overall	TOS	Top of Steel
		FUT	Future	OC	On Center	TOW	Top of Wall
				OD	Outside Diameter	TPD	Toilet Paper Dispenser
				OF/CI	Owner Furnished/Contractor Installed	TS	Transition Strip
				OPNG	Opening	UC	Undercut
				OPND	Opposite Hand	UTIL	Utility
				OPR	Opposite	VB	Vinyl Base
				OS	Overall	VC	Vinyl Composition Tile
				OT	Opposite	VERT	Vertical
				PT	Paint, Pressure Treated	VEST	Vestibule
				PTN	Partition	VIF	Verily in Field
				PVC	Polyvinyl Chloride	W	West
				PWM	Favement	WB	Wood Base
				PWT	Porcelain Wall Tile	WC	Wall Covering
				QTY	Quantity	WD	Wood
				R	Riser, Radius	WP	Working Point
				RB	Resilient Base	WPG	Waterproofing
				RBR	Rubber	WPS	Wall Protection System
				RCP	Reflected Ceiling Plan	WT	Window Treatment
				RCPTN	Reception	WWF	Weilded Wire Fabric
				RD	Roof Drain	YD	Yard
				RECP	Receptor, Receptacle		
				RE	Refr (to)		
				REFR	Refrigerator		
				REIN	Reinforce(d)(ing)		
				REQD	Required		
				RESL	Resilient		
				RETG	Retaining		
				REV	Revision		
				RF	Resilient Flooring		
				RFG	Roofing		
				RH	Right Hand		
				RM	Room		
				RO	Rough Opening		
				RVL	Reveal		
				S	South		
				SAB	Sound Attenuation Batts		
				SAN	Sanitary		
				SC	Solid Core		
				SD	Soap Dispenser		

OWNER / CLIENT
OWASA
 400 JONES FERRY ROAD
 CARRBORO, NC 27510
 919.537.4343
 c: Brad Barber
 e: bbarber@owasa.org

ARCHITECT
ThoughtCraft Architects, PLLC
 331 W. MAIN STREET
 DURHAM, NC 27701
 919.371.0721
 c: JASON PATTERSON, R.A.
 e: JP@thoughtcraftarchitects.com

PROJECT DATA:

PARCEL NUMBER: 9778662060
 LEGAL DESCRIPTION: N/S JONES FERRY ROAD

APPLICABLE CODES:

2018 NC EXISTING BUILDING CODE

1. SCOPE OF WORK

THIS IS SOLEY AN EXTERIOR RENOVATION PROJECT AND ENTAILS REMOVAL OF THE ROOF COPING FROM THE TERMINATION BAR OVER THE PARAPET, REPAIR AND RECOATING THE ENTIRETY OF EIFS ON THE OWASA ADMINISTRATIVE BUILDING, REMOVAL OF AN EXISTING AWNING IN THE REAR OF THE BUILDING AND REPLACEMENT WITH NEW TO MATCH EXISTING GREEN CANOPIES ON THE BUILDING, REMOVAL OF PLANTS AND SOIL IN PLANTERS ON ENTRY BRIDGE, AND CAP WITH PRECAST PANELS. THERE IS NO INTERIOR WORK, NO ELECTRICAL WORK, NO PLUMBING WORK, NO WINDOW WORK, AND NO ROOF MEMBRANE WORK.

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH APPLICABLE CODES INCLUDING, BUT NOT LIMITED TO THE 2018 NC EXISTING BUILDING CODE.
- DO NOT SCALE DRAWINGS. NOTIFY DESIGNER IMMEDIATELY OF ANY DISCREPANCIES.
- THESE CONSTRUCTION DOCUMENTS ARE DIVIDED INTO SECTIONS FOR CONVENIENCE ONLY. CONTRACTORS, SUBS AND MATERIAL SUPPLIERS SHALL REFER TO ALL RELEVANT SECTIONS IN BIDDING AND PERFORMING THEIR WORK, AND SHALL BE RESPONSIBLE FOR ALL ASPECTS OF THE WORK REGARDLESS OF WHERE THE INFORMATION OCCURS.
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE SITE TO VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY THE DESIGNER OF BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.
- ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS AND DETAILS. DIMENSIONS ARE TO FACE OF STUD OR CONCRETE UNLESS NOTED OTHERWISE ON DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF THE WORK AND SITE SAFETY.
- THE CONTRACTOR SHALL COORDINATE WITH OWASA FOR PARKING AND MATERIAL STORAGE LOCATIONS.
- G.C. TO PROVIDE A WORKPLAN TO ENSURE BUILDING ACCESS AND EGRESS AT ALL ENTRY AND EXIT LOCATIONS OF THE BUILDING DURING CONSTRUCTION. SEE PROJECT MANUAL FOR COORDINATION WITH OWNER'S OPERATIONS.
- G.C. TO PROVIDE NECESSARY EXTERIOR PROTECTION OF BUILDING ENVELOPE DURING CONSTRUCTION IN THE CASE OF INCLIMATE WEATHER.
- G.C. SHALL SPOT INVESTIGATE ENCLOSED CAVITIES FROM THE INTERIOR ABOVE THE CEILING AND SOFFIT BELOW AT EACH WALL WITH ENCLOSED SOFFITS. UPON EXAMINATION IF THERE IS ANY MOLD OR MILDEW FOUND NOTIFY OWNER AND ARCHITECT IMMEDIATELY AND RE-SEAL THE OPENING TO ENSURE NO NEGATIVE EFFECTS OF INDOOR AIR QUALITY INFILTRATE THE BUILDING.

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS (EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)

Name of Project: OWASA EIFS REPAIR
Address: 400 JONES FERRY ROAD
Owner/Authorized Agent: OWASA
Phone #: (919) 537-4343
E-Mail: bbarber@owasa.org

CONTACT: DESIGNER FIRM NAME LICENSE # TELEPHONE # E-MAIL
Architectural THOUGHTCRAFT ARCHITECTS, PLLC JASON HART 12321 (919) 371.0721 jw@thoughtcraftarchitects.com

2018 NC BUILDING CODE: New Building Addition Renovation
1st Time Interior Completion
Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements

2018 NC EXISTING BUILDING CODE: EXISTING: Prescriptive Repair Chapter 14
Alteration: Level I Level II Level III
Historic Property Change of Use
CONSTRUCTED: (date) 1990 CURRENT OCCUPANCY(S) (Ch. 3): BUSINESS
RENOVATED: (date) 2003 - WAREHOUSE ENCLASURE PROPOSED OCCUPANCY(S) (Ch. 3): BUSINESS

BASIC BUILDING DATA
Construction Type: I-A I-B II-A II-B III-A III-B IV V-A V-B
Sprinklers: No Partial Yes NFPA 13 NFPA 13R NFPA 13D
Standpipes: No Yes Class I II III Wet Dry
Fire District: No Yes Flood Hazard Area: No Yes
Special Inspections Required: Yes Contact the local inspection jurisdiction for additional procedures and requirements.

2018 NC Administrative Code and Policies

Gross Building Area Table
FLOOR EXISTING (SQ FT) NEW (SQ FT) SUB-TOTAL
3rd Floor N/A
2nd Floor -13,930 SF
Mezzanine N/A
1st Floor -10,119 SF
Basement
TOTAL -24,049 SF NO NEW GSF, EXISTING TO REMAIN

ALLOWABLE AREA N/A
Primary Occupancy Classification(s): Select one
Assembly A-1 A-2 A-3 A-4 A-5
Business
Educational
Factory F-1 Moderate F-2 Low
Hazardous H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM
Institutional I-1 Condition I 2
I-2 Condition I 2
I-3 Condition I 2 3 4 5
I-4
Mercantile
Residential R-1 R-2 R-3 R-4
Storage S-1 Moderate S-2 Low High-piled
Parking Garage Open Enclosed Repair Garage
Utility and Miscellaneous

Accessory Occupancy Classification(s):
Incidental Uses (Table 509):
Special Uses (Chapter 4 - List Code Sections):
Special Provisions: (Chapter 5 - List Code Sections):
Mixed Occupancy: No Yes Separation: Hr. Exception:
Non-Separated Use (508.3) - The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building.
Separated Use (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.
Actual Area of Occupancy A + Actual Area of Occupancy B / Allowable Area of Occupancy A + Allowable Area of Occupancy B <= 1

2018 NC Administrative Code and Policies

Table with 5 columns: STORY NO., DESCRIPTION AND USE, (A) BLDG AREA PER STORY (ACTUAL), (B) TABLE 506.2 AREA, (C) AREA FOR FRONTAGE INCREASES, (D) ALLOWABLE AREA PER STORY OR UNLIMITED

1 Frontage area increases from Section 506.2 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = (F)
b. Total Building Perimeter = (P)
c. Ratio (F/P) = (F/P)
d. W = Minimum width of public way = (W)
e. Percent of frontage increase I_f = 100[F/P - 0.25] x W/30 = (%)
2 Unlimited area applicable under conditions of Section 507.
3 Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).
4 The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1.
5 Frontage increase is based on the unsprinklered area value in Table 506.2.

ALLOWABLE HEIGHT N/A
Table with 3 columns: ALLOWABLE, SHOWN ON PLANS, CODE REFERENCE

1 Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

FIRE PROTECTION REQUIREMENTS

Table with 7 columns: BUILDING ELEMENT, FIRE SEPARATION DISTANCE (FEET), RATING REQ'D, RATING PROVIDED (W/ REDUCTION), DETAIL # AND SHEET #, DESIGN # FOR RATED ASSEMBLY, SHEET # FOR RATED PENETRATION, SHEET # FOR RATED JOINTS

* Indicate section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS N/A
Table with 4 columns: FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES, DEGREE OF OPENINGS PROTECTION (TABLE 705.8), ALLOWABLE AREA (%), ACTUAL SHOWN ON PLANS (%)

LIFE SAFETY SYSTEM REQUIREMENTS
Emergency Lighting: No Yes
Exit Signs: No Yes
Fire Alarm: No Yes
Smoke Detection Systems: No Yes Partial
Panic Hardware: Yes No

LIFE SAFETY PLAN REQUIREMENTS
Life Safety Plan Sheet #: N/A, ALL WORK IS EXTERIOR FINISH ONLY.

- Fire and/or smoke rated wall locations (Chapter 7)
Assumed and real property line locations (if not on the site plan)
Exterior wall opening area with respect to distance to assumed property lines (705.8)
Occupancy Use for each area as it relates to occupancy load calculation (Table 1004.1.2)
Occupant loads for each area
Exit access travel distances (1017)
Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
Dead end lengths (1020.4)
Clear exit widths for each exit door
Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
Actual occupant load for each exit door
A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
Location of doors with panic hardware (1010.1.10)
Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
Location of doors with electromagnetic egress locks (1010.1.9.9)
Location of doors equipped with hold-open devices
Location of emergency escape windows (1030)
The square footage of each fire area (202)
The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1107) N/A
Table with 8 columns: TOTAL UNITS, ACCESSIBLE UNITS REQUIRED, ACCESSIBLE UNITS PROVIDED, TYPE A UNITS REQUIRED, TYPE A UNITS PROVIDED, TYPE B UNITS REQUIRED, TYPE B UNITS PROVIDED, TOTAL ACCESSIBLE UNITS PROVIDED

ACCESSIBLE PARKING (SECTION 1106) N/A
Table with 4 columns: LOT OR PARKING AREA, TOTAL # OF PARKING SPACES REQUIRED, # OF ACCESSIBLE SPACES PROVIDED, TOTAL # ACCESSIBLE PROVIDED

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1) N/A
Table with 6 columns: USE, WATERCLOSETS, URINALS, LAVATORIES, SHOWERS, DRINKING FOUNTAINS

SPECIAL APPROVALS N/A
Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)

ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: No Yes (The remainder of this section is not applicable)
Exempt Building: No Yes (Provide code or statutory reference):
Climate Zone: 3A 4A 5A
Method of Compliance: Energy Code Performance Prescriptive
ASHRAE 90.1 Performance Prescriptive (If "Other" specify source here)

THERMAL ENVELOPE (Prescriptive method only)
Roof/ceiling Assembly (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Skylights in each assembly:
U-Value of skylight:
total square footage of skylights in each assembly:
Exterior Walls (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Openings (windows or doors with glazing)
U-Value of assembly:
Solar heat gain coefficient:
projection factor:
Door R-Values:

Walls below grade (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Floors over unconditioned space (each assembly)
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Floors slab on grade
Description of assembly:
U-Value of total assembly:
R-Value of insulation:
Horizontal/vertical requirement:
slab heated:

2018 NC Administrative Code and Policies

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS STRUCTURAL DESIGN (PROVIDE ON THE STRUCTURAL SHEETS IF APPLICABLE)

DESIGN LOADS:
Importance Factors: Snow (Is) Seismic (Ie)
Live Loads: Roof Mezzanine Floor
Ground Snow Load: psf
Wind Load: Basic Wind Speed Exposure Category mph (ASCE-7)

SEISMIC DESIGN CATEGORY: A B C D
Provide the following Seismic Design Parameters:
Risk Category (Table 1604.5) I II III IV
Spectral Response Acceleration Ss %g S1 %g
Site Classification (ASCE 7) A B C D E F
Data Source: Field Test Presumptive Historical Data
Basic structural system: Bearing Wall Dual w/Special Moment Frame Building Frame Dual w/Intermediate R/C or Special Steel Moment Frame Inverted Pendulum
Analysis Procedure: Simplified Equivalent Lateral Force Dynamic
Architectural, Mechanical, Components anchored? Yes No

LATERAL DESIGN CONTROL: Earthquake Wind
SOIL BEARING CAPACITIES:
Field Test (provide copy of test report) psf
Presumptive Bearing capacity psf
Pile size, type, and capacity

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS MECHANICAL DESIGN (PROVIDE ON THE MECHANICAL SHEETS IF APPLICABLE)

MECHANICAL SUMMARY
MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT
Thermal Zone
winter dry bulb:
summer dry bulb:
Interior design conditions
winter dry bulb:
summer dry bulb:
relative humidity:
Building heating load:
Building cooling load:
Mechanical Spacing Conditioning System
Unitary
description of unit:
heating efficiency:
cooling efficiency:
size category of unit:
Boiler
Size category. If oversized, state reason:
Chiller
Size category. If oversized, state reason:
List equipment efficiencies:

2018 APPENDIX B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS ELECTRICAL DESIGN (PROVIDE ON THE ELECTRICAL SHEETS IF APPLICABLE)

ELECTRICAL SUMMARY
ELECTRICAL SYSTEM AND EQUIPMENT
Method of Compliance: Energy Code Performance Prescriptive
ASHRAE 90.1 Performance Prescriptive
Lighting schedule (each fixture type)
lamp type required in fixture
number of lamps in fixture
ballast type used in the fixture
number of ballasts in fixture
total wattage per fixture
total interior wattage specified vs. allowed (whole building or space by space)
total exterior wattage specified vs. allowed
Additional Efficiency Package Options (When using the 2018 NCECC; not required for ASHRAE 90.1)
C406.2 More Efficient HVAC Equipment Performance
C406.3 Reduced Lighting Power Density
C406.4 Enhanced Digital Lighting Controls
C406.5 On-Site Renewable Energy
C406.6 Dedicated Outdoor Air System
C406.7 Reduced Energy Use in Service Water Heating

SCALE: 12" = 1'-0" DATE DRAWN: 10/02/23
CONSTRUCTION ISSUE DATE: 10/27/2023

OWASA ADMINISTRATIVE BUILDING COPING AND EIFS IMPROVEMENTS

400 JONES FERRY ROAD, CARRBORO, NC 27510

OWASA CIP: #280-17

CLIENT/OWNER: OWASA BRAD BARBER 919.537.4343

THOUGHTCRAFT ARCHITECTS
A R C H I T E C T S
thoughtcraftarchitects.com
Durham, NC 919.371.0721
Somerville, MA 617.848.2602

CONSTRUCTION ISSUE DATE: 10/27/23



SCALE: 12" = 1'-0" DATE DRAWN: 10/02/23

CODE SUMMARY

A-0.1



IMAGE 1



IMAGE 2



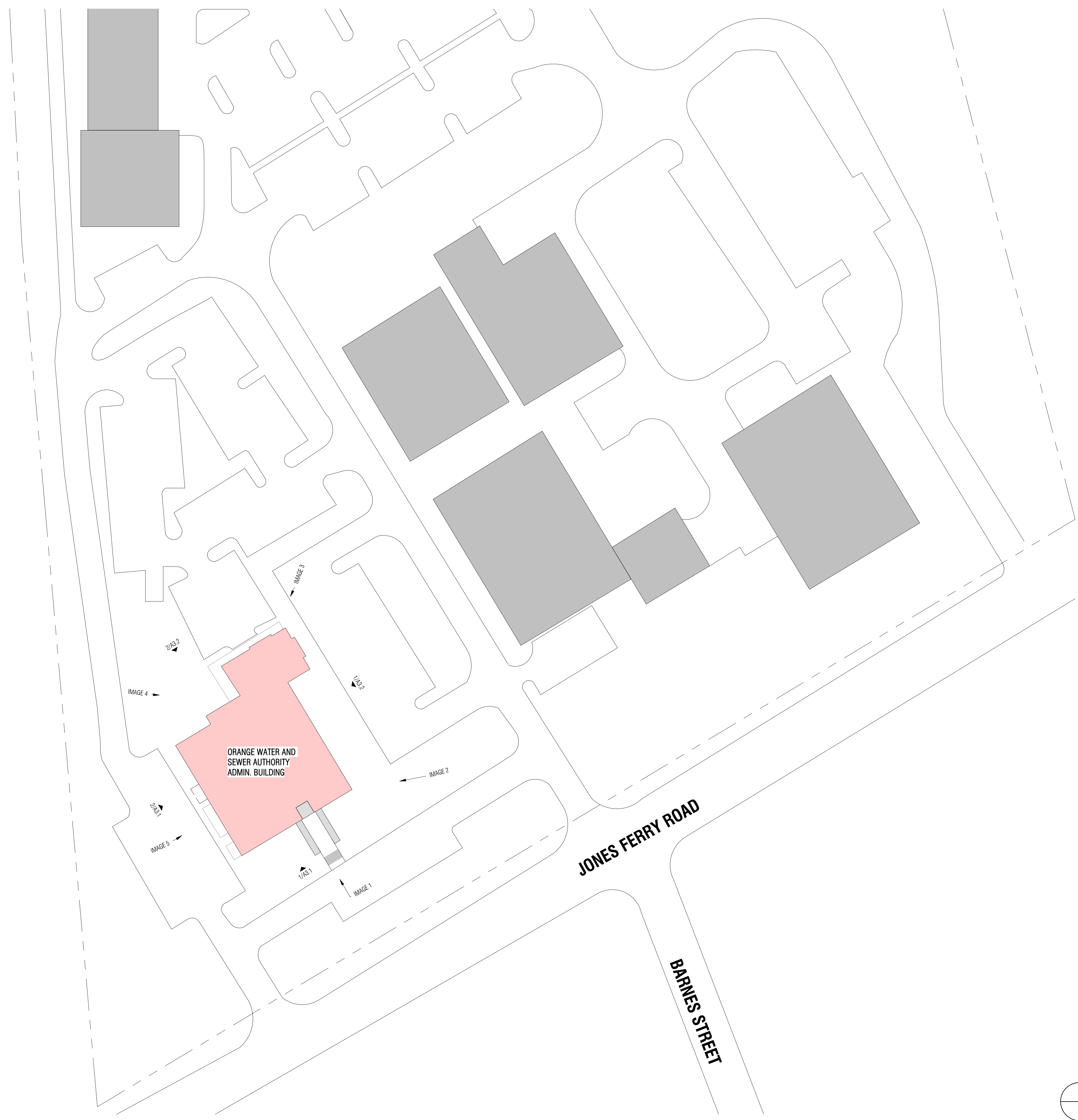
IMAGE 3



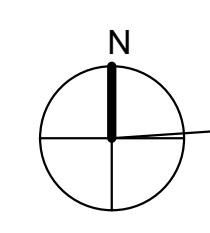
IMAGE 4



IMAGE 5



1 PARTIAL SITE PLAN
1" = 40'-0"



OWASA
ADMINISTRATIVE
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CONSTRUCTION 10.27.23
ISSUE DATE

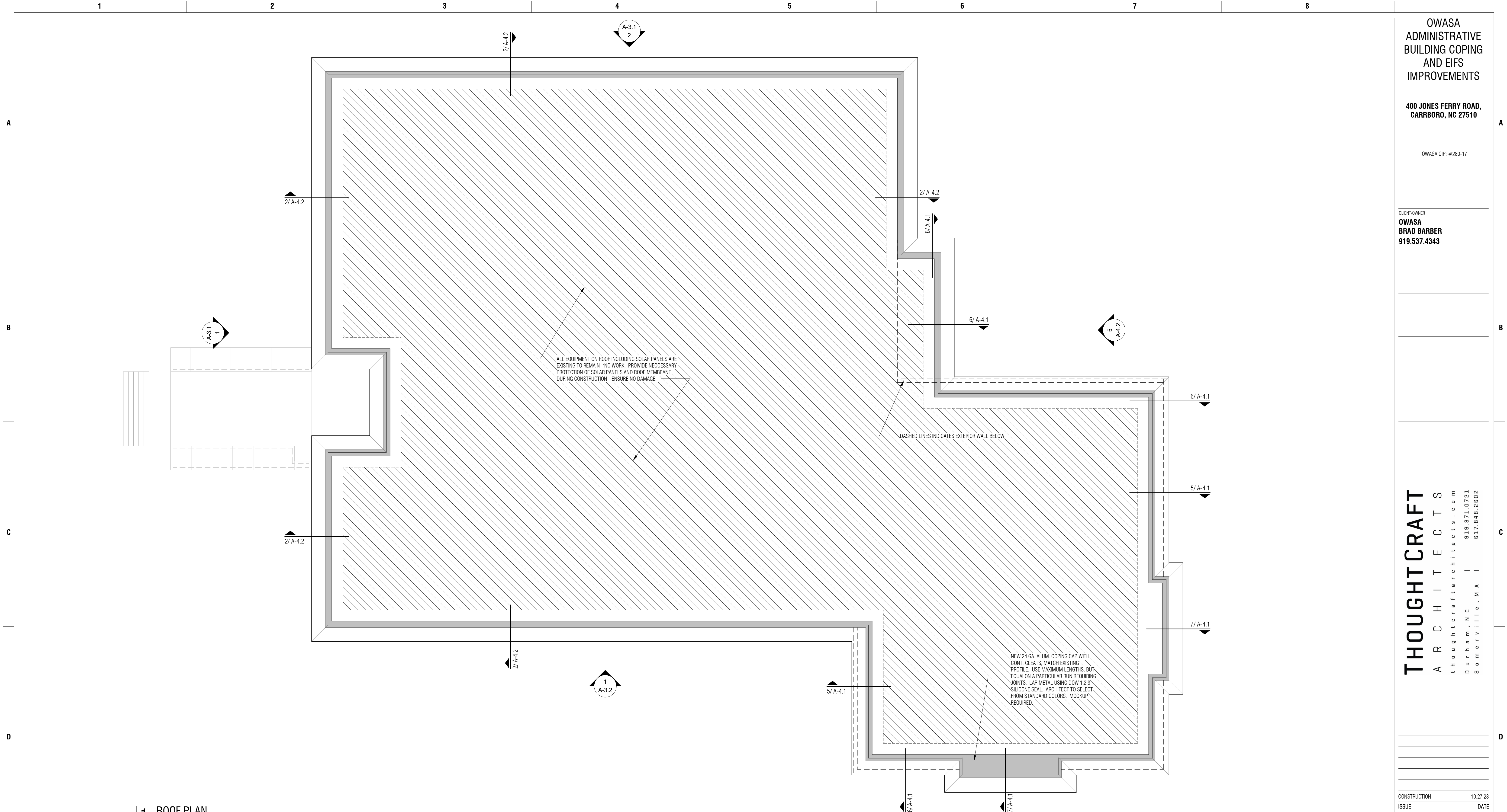
CONSTRUCTION



SCALE: 1" = 40'-0" DATE DRAWN 08/08/23

SITE PLAN

A-0.2

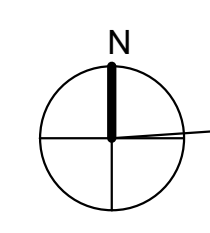


1 ROOF PLAN
1/8" = 1'-0"

FINISH LEGEND AND SPECIFICATIONS					
<p>NOTES: 1. DATA HEREIN REPRESENTS BASIS OF DESIGN PERFORMANCE. APPROVED EQUALS MAY BE ACCEPTED, SEE PROJECT MANUAL FOR DETAILS. 2. PROVIDE SUBMITTALS FOR ALL PRODUCTS AND ITEMS SPECIFIED ON DRAWINGS AS WELL AS THOSE WITHIN PROJECT MANUAL. INCLUDE PRODUCT DATA, WARRANTY SAMPLE, CERTIFICATIONS, TEST REPORTS, AND PHYSICAL SAMPLES. 3. INSTALL ALL PRODUCTS PER MANUFACTURER'S RECOMMENDATIONS. 4. ALL ITEMS LISTED IN FINISH LEGEND ARE CONTRACTOR FURNISHED, CONTRACTOR INSTALLED UNLESS OTHERWISE NOTED.</p>					
<p>EIFS: MANUFACTURERS: A. SENERGY TERZUS OR APPROVED EQUAL</p> <p>1. COLOR: TO MATCH EXISTING EIFS. SAMPLE TO BE SELECTED BY ARCHITECT AND OWNER. 2. TEXTURE: SMOOTH. APPROVED MOCKUP BY ARCHITECT AND OWNER REQUIRED PRIOR TO PROCEEDING WITH REMAINDER OF WORK. NOTE: PARGE COAT ON BRIDGE TO MATCH NEW EIFS COLOR AND TEXTURE.</p>	<p>EIFS SOFFIT VENT: MANUFACTURER: A. FRY REGLET PCS-75-V-150 OR APPROVED EQUAL</p> <p>1. COLOR: TO MATCH EIFS. SAMPLE TO BE SELECTED BY ARCHITECT AND OWNER.</p>	<p>REINFORCED PRE-CAST STONE CAPS: MANUFACTURERS: A. CUSTOM CAST STONE OR APPROVED EQUAL</p> <p>1. COLOR: WHITE TO MATCH NEW EIFS COLOR. ARCHITECT TO SELECT FROM MANUF. COLORS 2. MATERIAL: MIN. 4 1/2" REINFORCED PRE-CAST PANEL 3. SLOPE: CROWN IN MIDDLE. SLOPE 1/8" TO EITHER SIDE 4. Drip: PROVIDE A MIN. OVERHANG OF 1 1/2" 5. INSTALL: DOWEL AND EPOXY, MIN. 4 PER PANEL 6. PANEL WIDTHS AND DETAILS: SEE A6.1</p> <p>CONTRACTOR TO BE RESPONSIBLE FOR NECESSARY LOADING AND SPAN CALCULATIONS OF THE OPENING.</p>	<p>METAL CANOPY: MANUFACTURERS: A. DAC AWNINGS OR APPROVED EQUAL</p> <p>1. COLOR: MATCH EXISTING CANOPIES ON SITE 2. MATERIAL: MATCH EXISTING PROFILE AND METAL 3. SLOPE: SHALLOW SLOPE TO ALLOW FOR MINIMAL COUNTER FLASHING AT ADJACENT WALL MIN. 2:12, G.C. TO PROVIDE SHOP DRAWINGS TO VERIFY SLOPE WITH EXISTING BRICK.</p>	<p>METAL COPING CAP: MANUFACTURERS: A. OPEN</p> <p>1. COLOR: KYNAR COATING TO MATCH NEW EIFS COLOR. ARCHITECT TO SELECT FROM MANUF. OPTIONS. 2. MATERIAL: 24 GA. WITH 20 GA. CONT. CLEATS 3. JOINTS: LAP JOINTS PER MANUF. INSTRUCTIONS. USE MAXIMUM LENGTHS, BUT EQUAL ON A PARTICULAR RUN REQUIRING JOINTS. 4. PROFILE: MATCH EXISTING PROFILE.</p> <p>MOCK-UP REQUIRED. MINIMUM (2) 4'-0" PANELS USING DOW 1,2,3 SILICONE STRIP</p>	<p>SILICONE SEAL: MANUFACTURERS: A. DOW 1,2,3 SILICONE STRIPS OR APPROVED EQUAL</p> <p>1. COLOR: TO BE SELECTED BY ARCHITECT FROM MANUF. COLORS. MOCKUP REQUIRED.</p>

GENERAL NOTES
1. ALL GRIDLINES ARE TO FACE OF STUD FRAMING UNLESS OTHERWISE NOTED
2. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED

- KEYNOTES**
- 01 REMOVE NUMBERS, STORE, CLEAN, REFINISH EIFS, AND REINSTALL. EXISTING ELECTRICAL TO REMAIN IN PLACE.
 - 02 EXISTING GLAZING TO REMAIN, NO WORK. IF ANY CRACKING IS NOTED WITHIN EXISTING JOINTS, ADDITIONAL REINFORCING MESH IS REQUIRED PRIOR TO RE-SKIMMING THE SURFACE. IF CRACKING HAS OCCURRED WHERE A JOINT HAS NOT BEEN STRUCK AND ALIGNS WITH AN EXISTING JOINT, PROVIDE A JOINT, MESH AND RE-SKIM THE SURFACE.
 - 03 EXISTING EIFS REVEAL TO REMAIN.
 - 04 EXISTING PROFILE TO STAY THE SAME, ENSURE PROPER CLEANING AND ADD NEW FINISH COAT OVER EXISTING.
 - 05 CAST IN PLACE CONCRETE PLANTERS - SEE DETAILS ON A6.1.
 - 06 EXISTING CANOPY TO REMAIN IN PLACE, NEW EIFS FINISH COAT AROUND FRAME AND UNDER SOFFIT.
 - 07 EXISTING FIRE ALARM, CAMERA AND ELECTRICAL DEVICES, AND PLAQUE TO REMAIN IN PLACE FOR DURATION OF WORK.
 - 08 DROP-OFF BOX IS EXISTING TO REMAIN.
 - 09 EXTERIOR ELECTRICAL LIGHTS TO BE MOVED 6" LOWER TO NOT INTERFERE WITH EIFS REPAIR. REPLACE ANY CRACKED OR DAMAGED BRICK IN KIND WITH COLOR MATCHED MORTAR.
 - 10 NEW 24 GA. ALUM. COPING CAP WITH CLEATS, SEE DETAIL 4/A-4.1, MATCH EXISTING PROFILE. USE MAXIMUM LENGTHS, BUT EQUAL ON A PARTICULAR RUN REQUIRING JOINTS. LAP METAL USING DOW 1,2,3 SILICONE SEAL.
 - 11 ARCHITECT TO SELECT FROM STANDARD COLORS.
 - 12 EXISTING CANOPIES TO REMAIN, NO WORK.
 - 13 EXISTING CANOPY AND TIE RODS TO BE DEMOLISHED AND DISPOSED. REPLACE ANY AFFECTED BRICK AND MORTAR IN KIND. NEW CANOPY TO MATCH EXISTING CANOPIES IN COLOR, MATERIAL, AND AESTHETIC ON WEST ELEVATION, SEE DETAILS 6.7/A4.2.
 - 14 EXISTING ROOF TO REMAIN. DO NOT REMOVE TERMINATION BAR.
 - 15 EXISTING BRICK TO REMAIN - NO WORK, U.N.O.
 - 16 PRIME AND PAINT SCUPPERS TO MATCH EIFS.



**OWASA
ADMINISTRATIVE
BUILDING COPING
AND EIFS
IMPROVEMENTS**

400 JONES FERRY ROAD,
CARRBORO, NC 27510

OWASA CIP: #280-17

CLIENT/OWNER
OWASA
BRAD BARBER
919.537.4343

THOUGHTCRAFT
ARCHITECTS
thoughtcraftarchitects.com
Durham, NC | 919.371.0721
Somerville, MA | 617.848.2602

CONSTRUCTION 10.27.23
ISSUE DATE

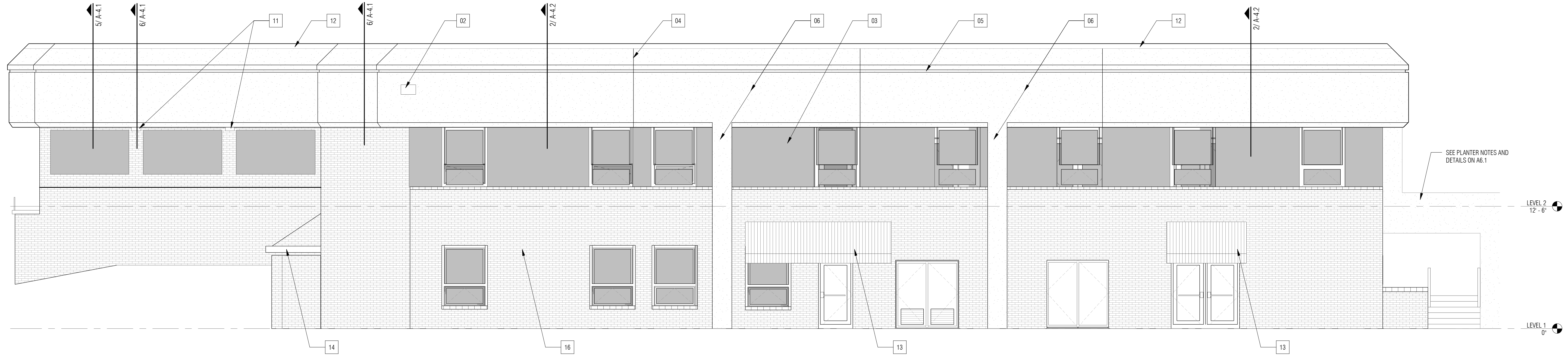
CONSTRUCTION



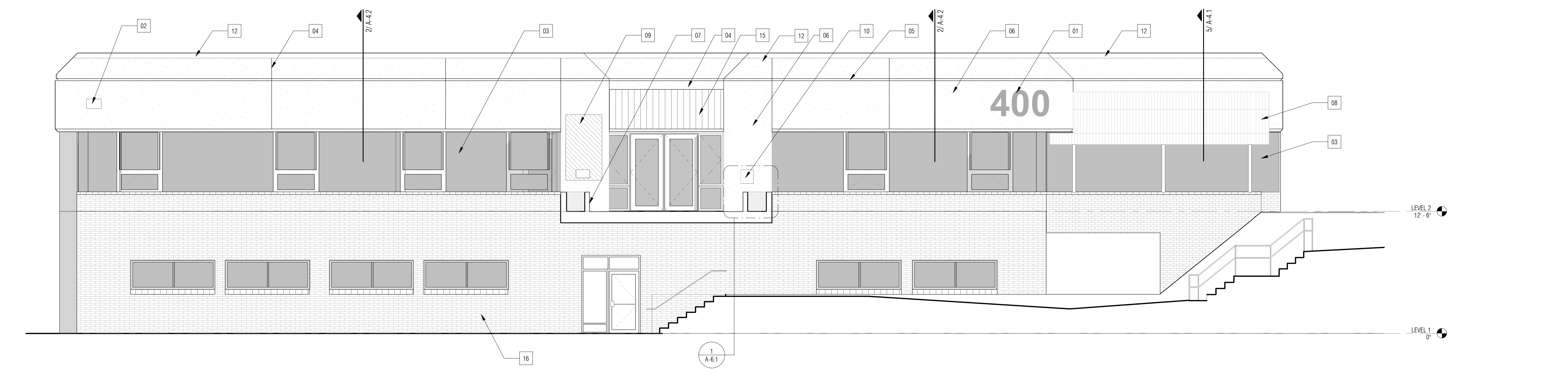
SCALE: As indicated DATE DRAWN: 09/28/10

EXTERIOR ELEVATIONS

A-3.1



2 WEST ELEVATION
3/16" = 1'-0"



1 SOUTH ELEVATION
3/16" = 1'-0"

MATERIAL	APPROXIMATE QUANTITY*
METAL ROOF COPING	575 LF
EIFS SURFACE	~5,700 sf
BRIDGE PARGE COAT	~1,300 sf
EIFS SOFFIT VENT	~350 LF

*NOTE: QUANTITIES ARE APPROXIMATE. G.C. IS TO VERIFY.

GENERAL NOTES

- ALL GRIDLINES ARE TO FACE OF STUD FRAMING UNLESS OTHERWISE NOTED
- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED

ALL EXISTING JOINTS ARE TO REMAIN. IF ANY CRACKING IS NOTED WITHIN EXISTING JOINTS, ADDITIONAL REINFORCING MESH IS REQUIRED PRIOR TO RE-SKIMMING THE SURFACE. IF CRACKING HAS OCCURRED WHERE A JOINT HAS NOT BEEN STRUCK AND ALIGNS WITH AN EXISTING JOINT, PROVIDE A JOINT, MESH AND RE-SKIM THE SURFACE.

KEYNOTES

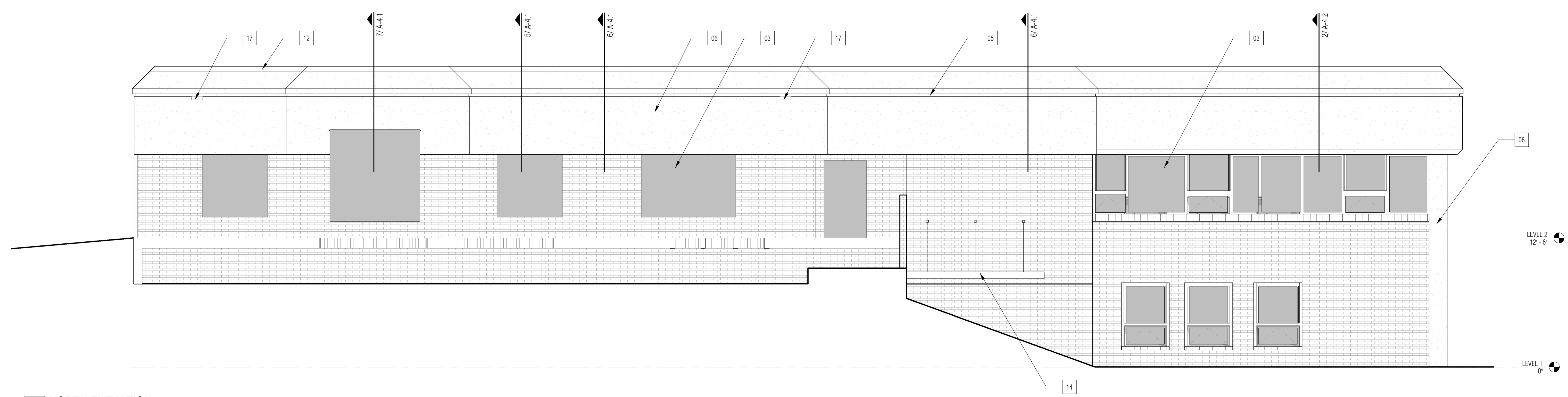
- 01 REMOVE NUMBERS, STORE, CLEAN, REFINISH EIFS, AND REINSTALL.
- 02 EXISTING ELECTRICAL TO REMAIN IN PLACE.
- 03 EXISTING GLAZING TO REMAIN, NO WORK.
- 04 EXISTING EIFS REVEAL TO REMAIN.
- 05 EXISTING PROFILE TO STAY THE SAME. ENSURE PROPER CLEANING AND ADD NEW FINISH COAT OVER EXISTING.
- 06 CAST IN PLACE CONCRETE PLANTERS - SEE DETAILS ON A6.1.
- 07 EXISTING CANOPY TO REMAIN IN PLACE. NEW EIFS FINISH COAT AROUND FRAME AND UNDER SOFFIT.

- 09 EXISTING FIRE ALARM, CAMERA AND ELECTRICAL DEVICES, AND PLAQUE TO REMAIN IN PLACE FOR DURATION OF WORK.
- 10 DROP-OFF BOX IS EXISTING TO REMAIN.
- 11 EXTERIOR ELECTRICAL LIGHTS TO BE MOVED 6" LOWER TO NOT INTERFERE WITH EIFS REPAIR. REPLACE ANY CRACKED OR DAMAGED BRICK IN KIND WITH COLOR MATCHED MORTAR.
- 12 NEW 24 GA. ALUM. COPING CAP WITH CLEATS, BUT EQUAL ON A PARTICULAR RUN REQUIRING JOINTS. LAP METAL USING DOW 1.2.3 SILICONE SEAL. ARCHITECT TO SELECT FROM STANDARD COLORS.
- 13 EXISTING CANOPIES TO REMAIN, NO WORK.
- 14 EXISTING CANOPY AND TIE RODS TO BE DEMOLISHED AND DISPOSED. REPLACE ANY AFFECTED BRICK AND MORTAR IN KIND. NEW CANOPY TO MATCH EXISTING CANOPIES IN COLOR, MATERIAL, AND AESTHETIC ON WEST ELEVATION, SEE DETAILS 6.7/A4.2.

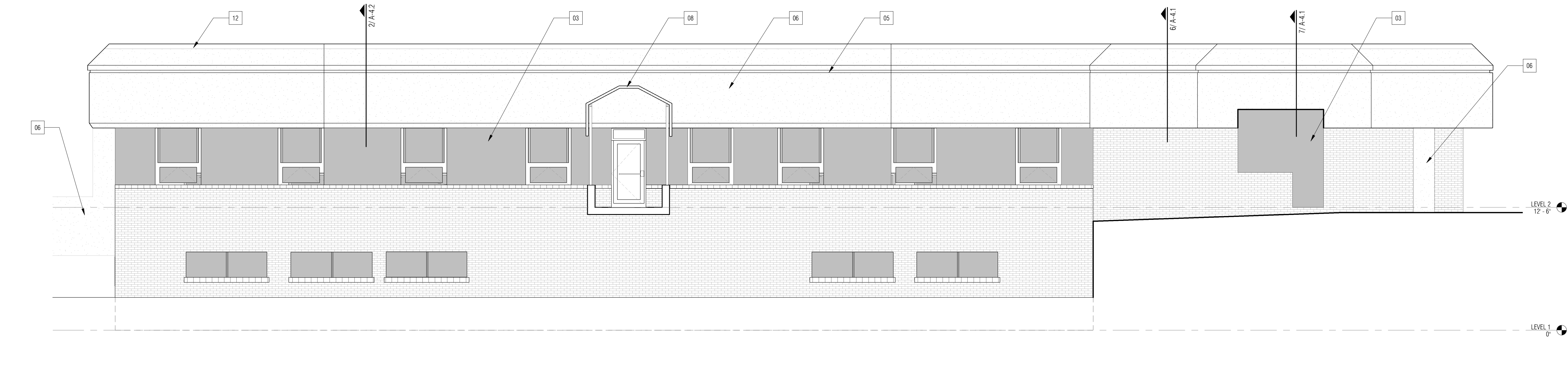
- 15 EXISTING ROOF TO REMAIN. DO NOT REMOVE TERMINATION BAR.
- 16 EXISTING BRICK TO REMAIN - NO WORK, U.N.O.
- 17 PRIME AND PAINT SCUPPERS TO MATCH EIFS.



2 NORTH ELEVATION
3/16" = 1'-0"



1 EAST ELEVATION
3/16" = 1'-0"

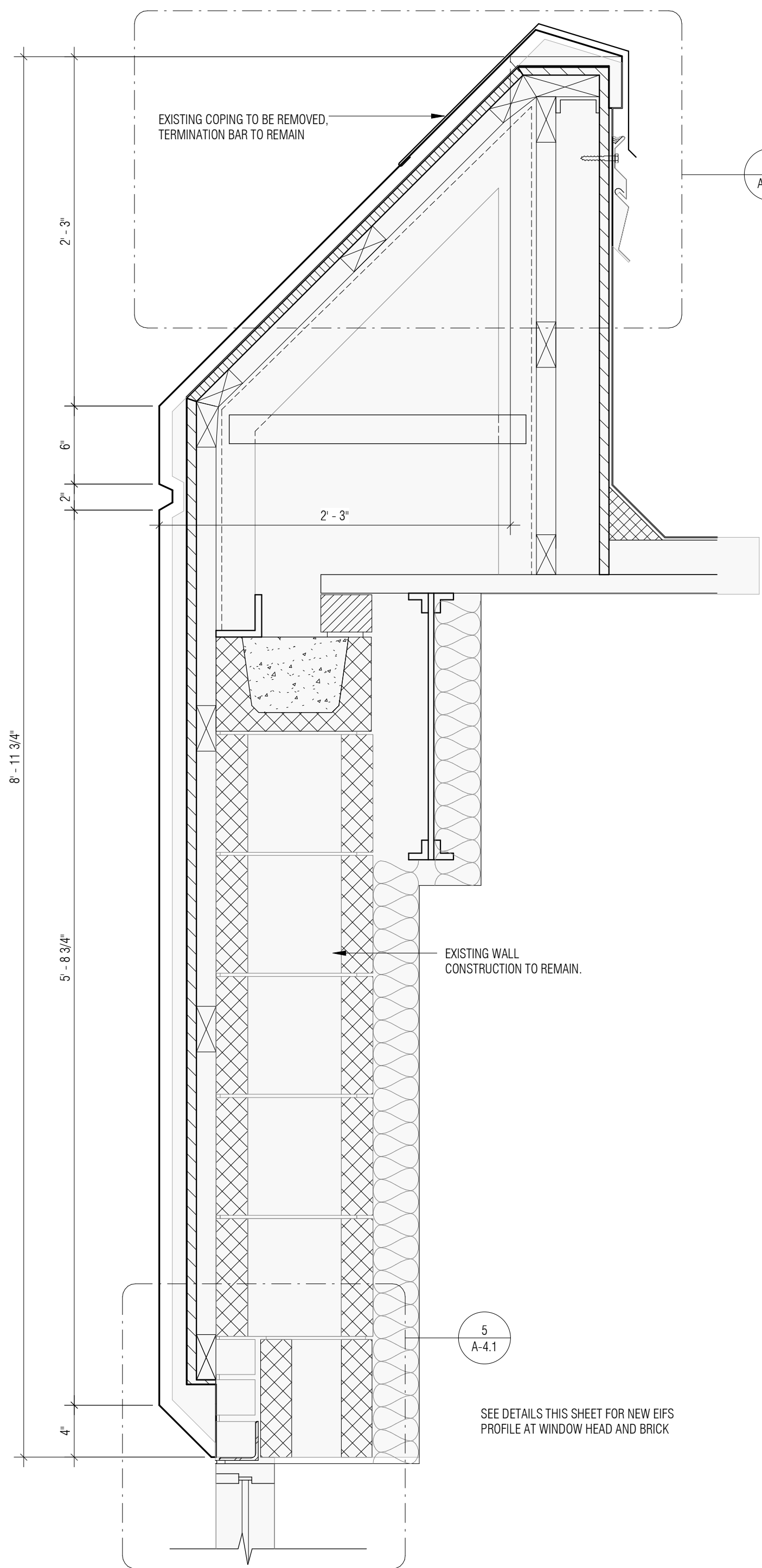


MATERIAL	APPROXIMATE QUANTITY*
METAL ROOF COPING	575 LF
EIFS SURFACE	~5,700 sf
BRIDGE PARGE COAT	~1,300 sf
EIFS SOFFIT VENT	~350 LF

*NOTE: QUANTITIES ARE APPROXIMATE. G.C. IS TO VERIFY.

- GENERAL NOTES**
- ALL GRIDLINES ARE TO FACE OF STUD FRAMING UNLESS OTHERWISE NOTED
 - ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED

- KEYNOTES**
- 01 REMOVE NUMBERS, STORE, CLEAN, REFINISH EIFS, AND REINSTALL.
 - 02 EXISTING ELECTRICAL TO REMAIN IN PLACE.
 - 03 EXISTING GLAZING TO REMAIN, NO WORK. ALL EXISTING JOINTS ARE TO REMAIN, IF ANY CRACKING IS NOTED WITHIN EXISTING JOINTS, ADDITIONAL REINFORCING MESH IS REQUIRED PRIOR TO RE-SKIMMING THE SURFACE. IF CRACKING HAS OCCURRED WHERE A JOINT HAS NOT BEEN STRUCK AND ALIGNS WITH AN EXISTING JOINT, PROVIDE A JOINT, MESH AND RE-SKIM THE SURFACE.
 - 04 EXISTING EIFS REVEAL TO REMAIN. EXISTING PROFILE TO STAY THE SAME, ENSURE PROPER CLEANING AND ADD NEW FINISH COAT OVER EXISTING.
 - 05 CAST IN PLACE CONCRETE PLANTERS - SEE DETAILS ON A6.1.
 - 06 EXISTING CANOPY TO REMAIN IN PLACE, NEW EIFS FINISH COAT AROUND FRAME AND UNDER SOFFIT.
 - 07 REMOVE FIRE ALARM, CAMERA AND ELECTRICAL DEVICES, AND PLAQUE TO REMAIN IN PLACE FOR DURATION OF WORK.
 - 08 DROP-OFF BOX IS EXISTING TO REMAIN.
 - 09 EXTERIOR ELECTRICAL LIGHTS TO BE MOVED 6" LOWER TO NOT INTERFERE WITH EIFS REPAIR. REPLACE ANY CRACKED OR DAMAGED BRICK IN KIND WITH COLOR MATCHED MORTAR.
 - 10 NEW 24 GA. ALUM. COPING CAP WITH CLEATS, SEE DETAIL 4/A/4.1, MATCH EXISTING PROFILE. USE MAXIMUM LENGTHS, BUT EQUAL ON A PARTICULAR RUN REQUIRING JOINTS. LAP METAL USING DOW 1.2.3 SILICONE SEAL.
 - 11 ARCHITECT TO SELECT FROM STANDARD COLORS.
 - 12 EXISTING CANOPY AND TIE RODS TO BE DEMOLISHED AND DISPOSED. REPLACE ANY AFFECTED BRICK AND MORTAR IN KIND. NEW CANOPY TO MATCH EXISTING CANOPIES IN COLOR, MATERIAL, AND AESTHETIC ON WEST ELEVATION, SEE DETAILS 6.7/A4.2.
 - 13 EXISTING ROOF TO REMAIN. DO NOT REMOVE TERMINATION BAR.
 - 14 EXISTING BRICK TO REMAIN - NO WORK, U.N.O.
 - 15 PRIME AND PAINT SCUPPERS TO MATCH EIFS.



1 EXISTING DETAIL SECTION @ ADDITION
1 1/2" = 1'-0"

GENERAL NOTES:

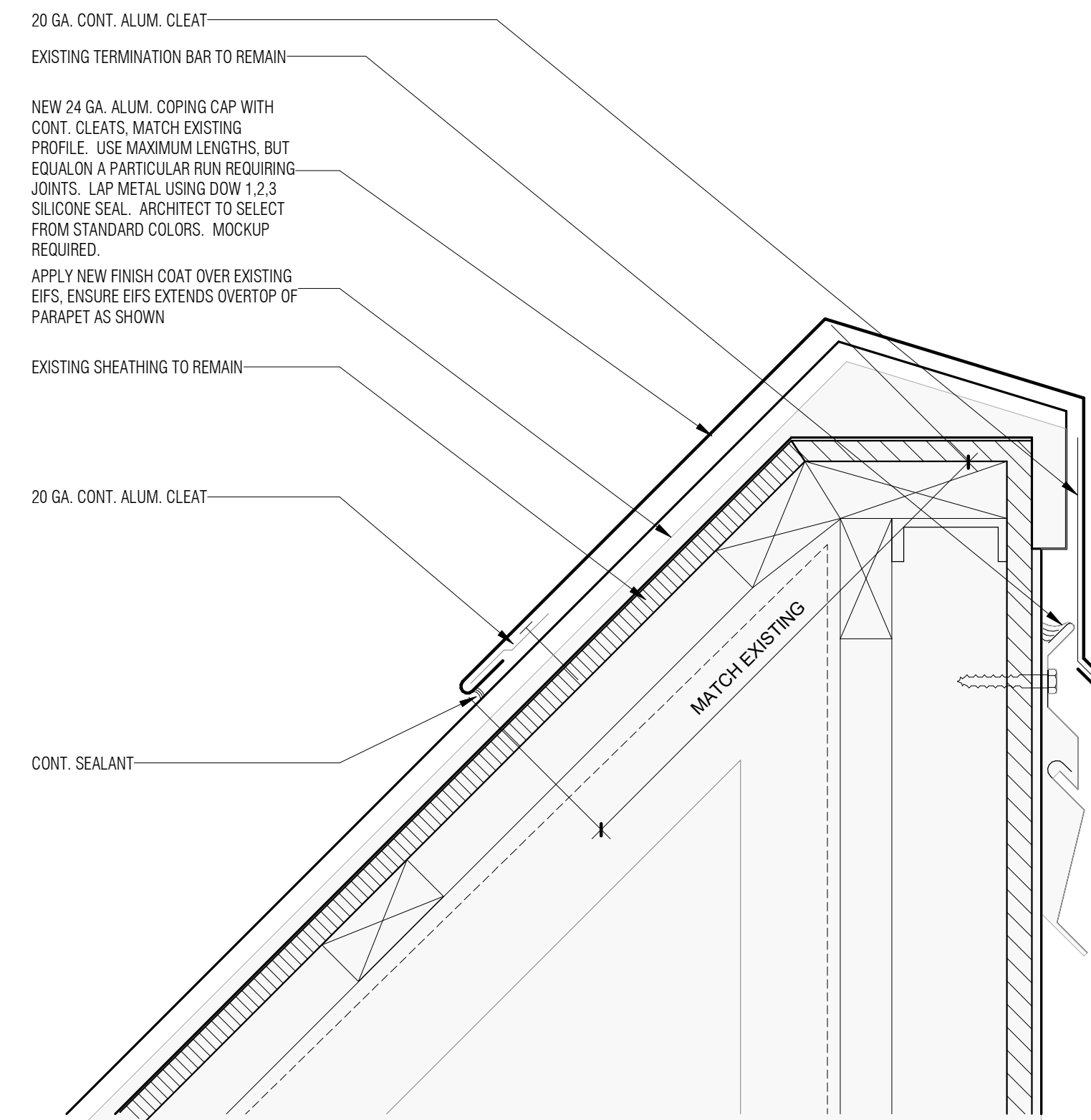
- G.C. SHALL SPOT INVESTIGATE ENCLOSED CAVITIES FROM THE INTERIOR ABOVE THE CEILING AND SOFFIT BELOW AT EACH WALL WITH ENCLOSED SOFFITS. UPON EXAMINATION IF THERE IS ANY MOLD OR MILDEW FOUND NOTIFY OWNER AND ARCHITECT IMMEDIATELY AND RE-SEAL THE OPENING TO ENSURE NO NEGATIVE EFFECTS OF INDOOR AIR QUALITY INFILTRATE THE BUILDING.
- CLEANING OF EXISTING EIFS WILL BE PERFORMED WITH A HOSE AND SCRUB BRUSH - NO POWERWASHING. IF SPOTS ARE NOT BECOMING CLEAN USE A MILD DETERGENT ONLY. TEST IN A SMALL AREA AND NOTIFY ARCHITECT IF STAINS PERSIST.
- ALL EIFS ON EXTERIOR FACADE IS TO BE RE-SURFACED. SEE DETAILS ON A4.1 AND A4.2.
- ALL EXISTING JOINTS ARE TO REMAIN. IF ANY CRACKING IS NOTED WITHIN EXISTING JOINTS, ADDITIONAL REINFORCING MESH IS REQUIRED PRIOR TO RE-SKIMMING THE SURFACE. IF CRACKING HAS OCCURRED WHERE A JOINT HAS NOT BEEN STRUCK AND ALIGNS WITH AN EXISTING JOINT, PROVIDE A JOINT, MESH AND RE-SKIM THE SURFACE.
- MAINTAIN EXISTING PROFILE OF EIFS U.N.O.
- VERIFY ALL MATERIALS ARE INSTALLED IN ACCORDANCE WITH CURRENT INSTALLATION INSTRUCTIONS. ALL TERMINATIONS MUST BE FULLY ENCAPSULATED WITH MESH REINFORCED BASE COAT.
- PROVIDE A BACK WRAPPED TYPE JOINT WITH BACKER ROD AND SEALANT AT SYSTEM TERMINATION AT SOFFIT / FASCIA TRANSITIONS.
- REFERENCE KEY PLAN - THIS SHEET FOR EXTENT OF PROPOSED DETAILS.

LEGEND:

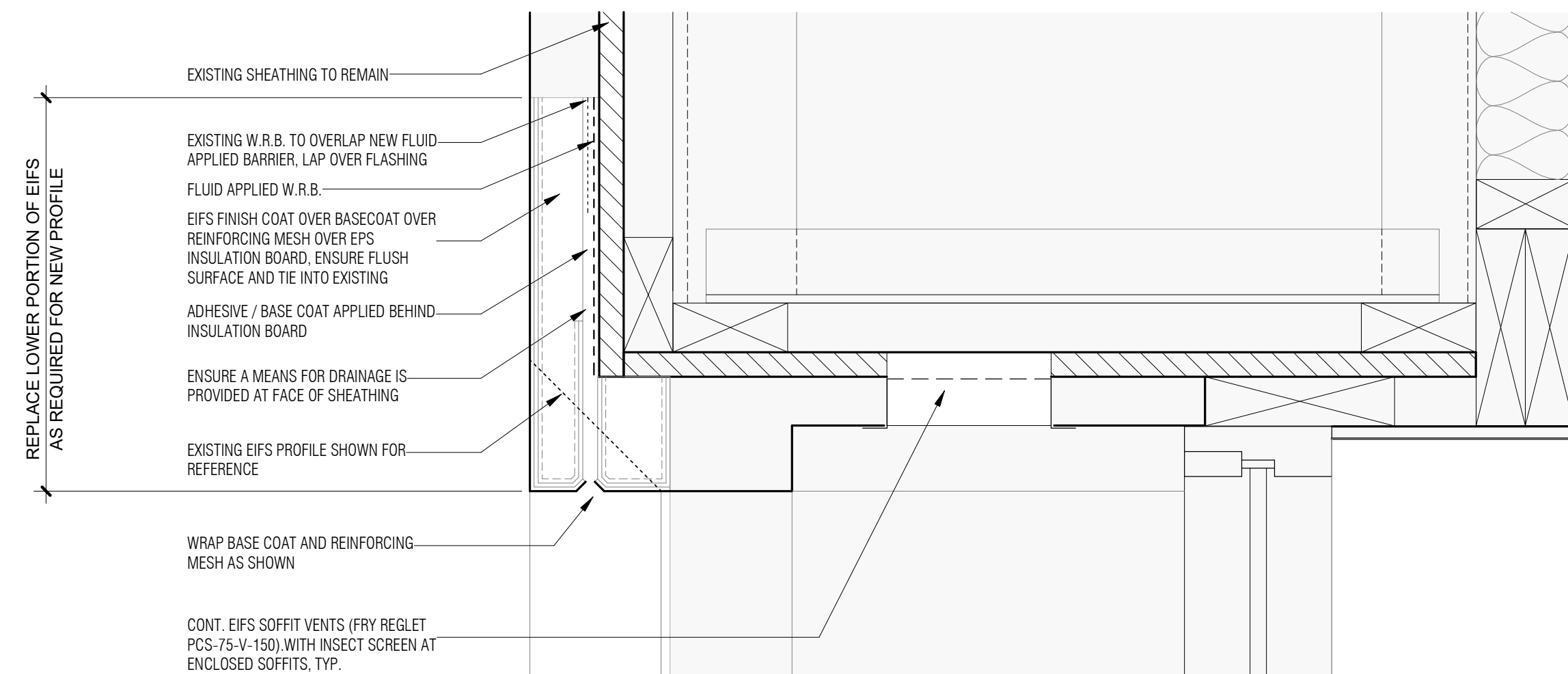
- EXISTING TO REMAIN
- NEW WORK

MATERIAL	APPROXIMATE QUANTITY*
METAL ROOF COPING	575 LF
EIFS SURFACE	~5,700 sf
BRIDGE PARGE COAT	~1,300 sf
EIFS SOFFIT VENT	~350 LF

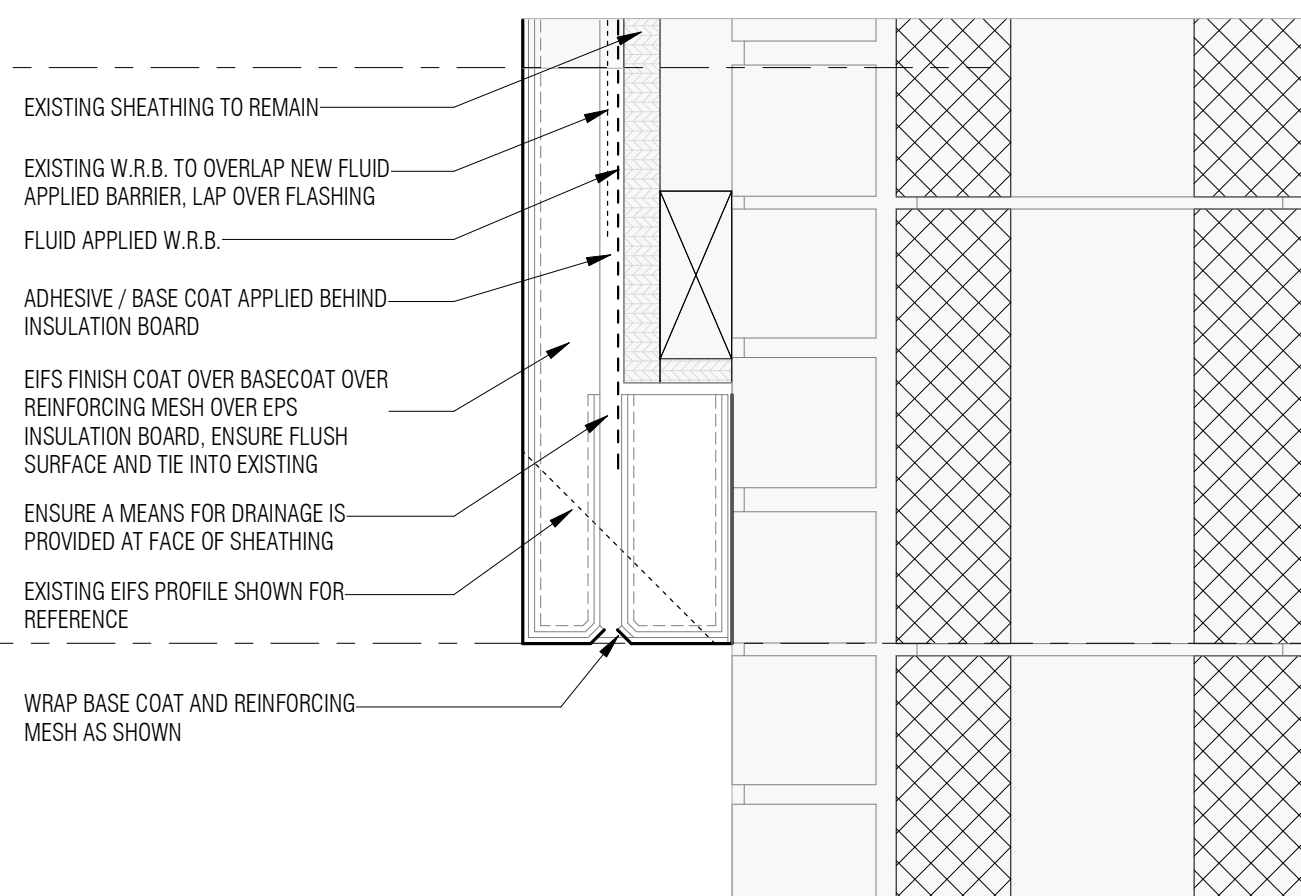
*NOTE: QUANTITIES ARE APPROXIMATE. G.C. IS TO VERIFY.



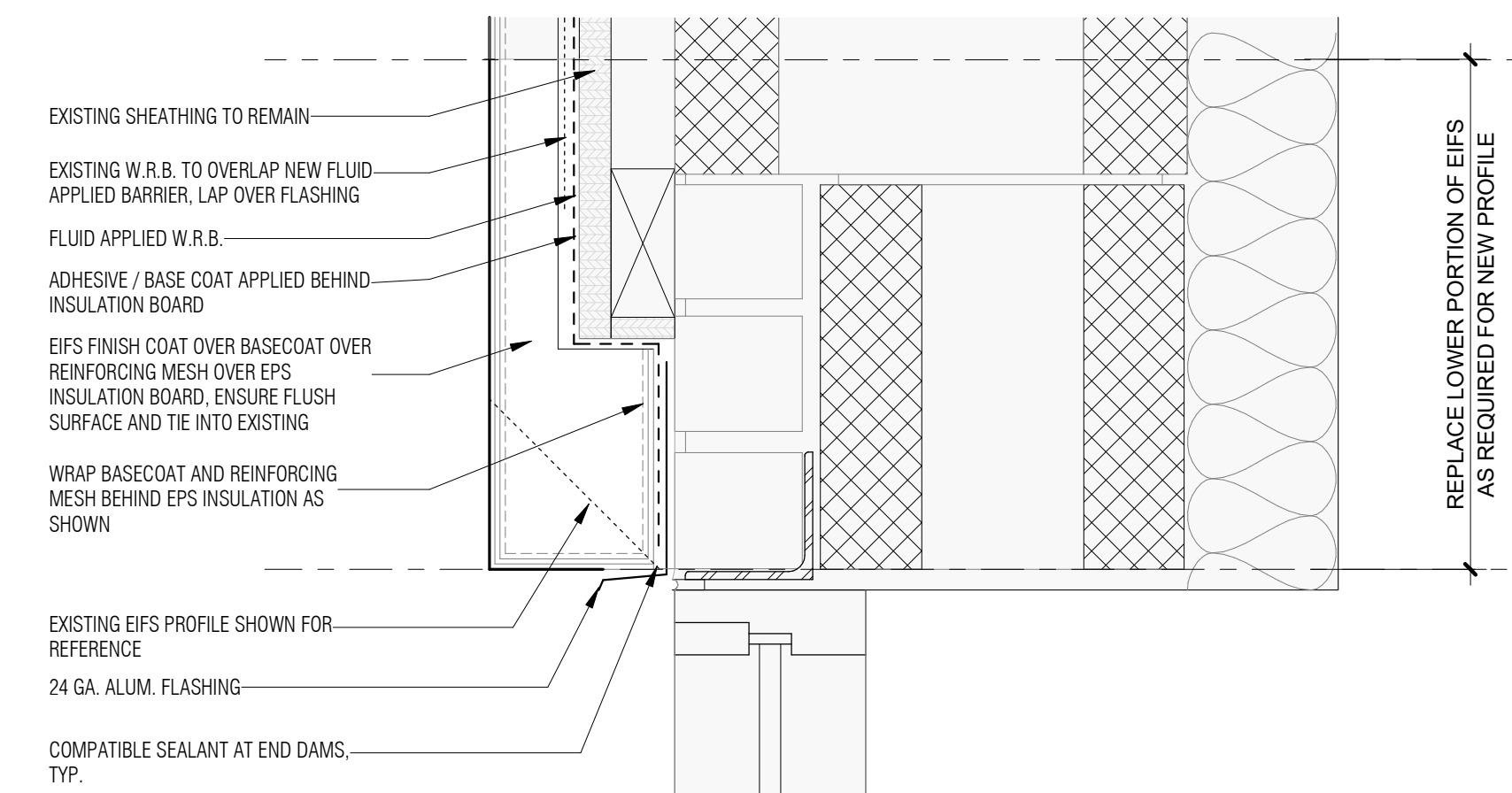
4 PROPOSED ROOF COPING DETAIL
3" = 1'-0"



5 PROPOSED DETAIL SECTION OF EIFS REPAIR AT WINDOW HEAD
3" = 1'-0"



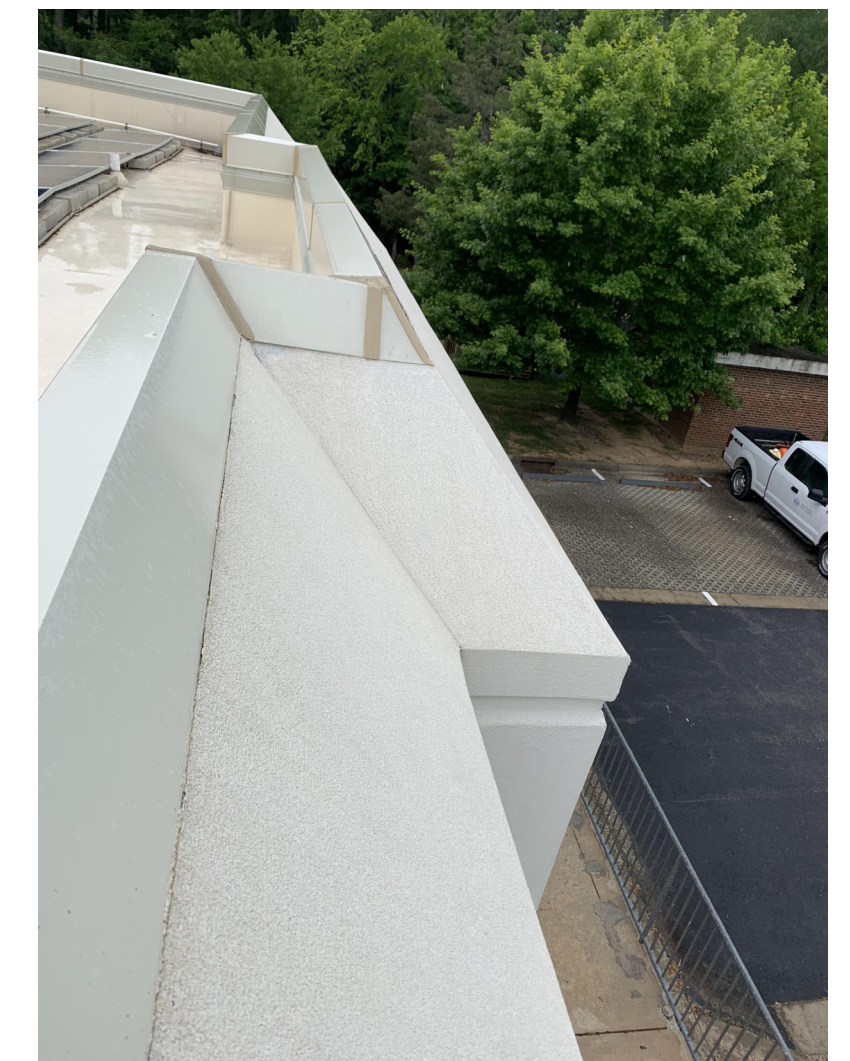
6 PROPOSED DETAIL SECTION OF EIFS REPAIR AT BRICK WALL
3" = 1'-0"



7 PROPOSED SOFFIT TRANSITION
3" = 1'-0"



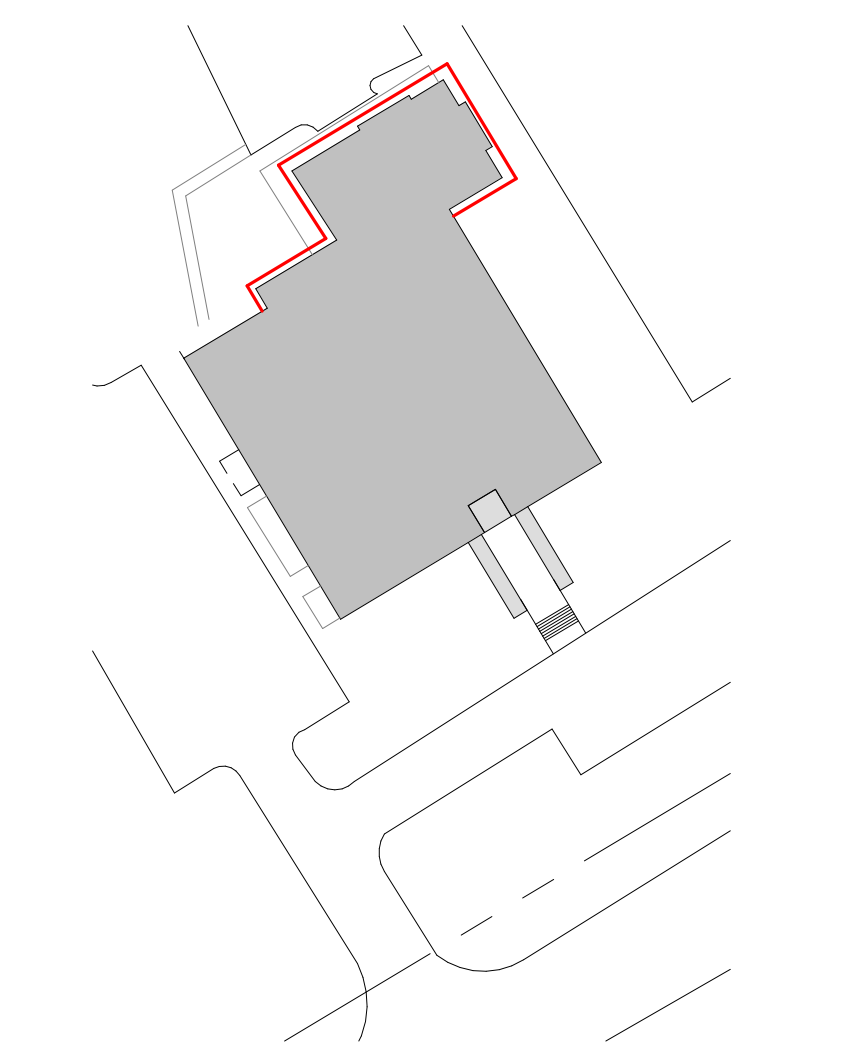
VIEW OF EAST ROOF ELEVATION LOOKING SOUTH



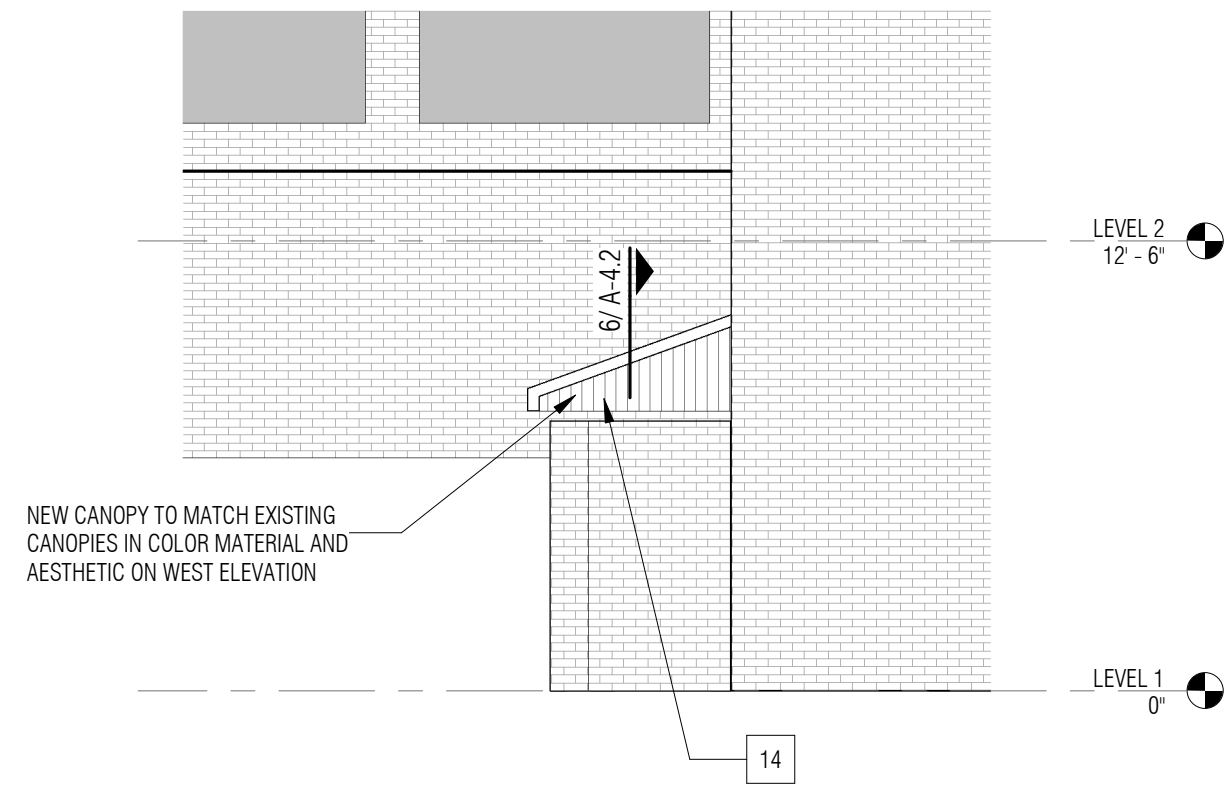
VIEW OF NORTH ROOF ELEVATION LOOKING WEST



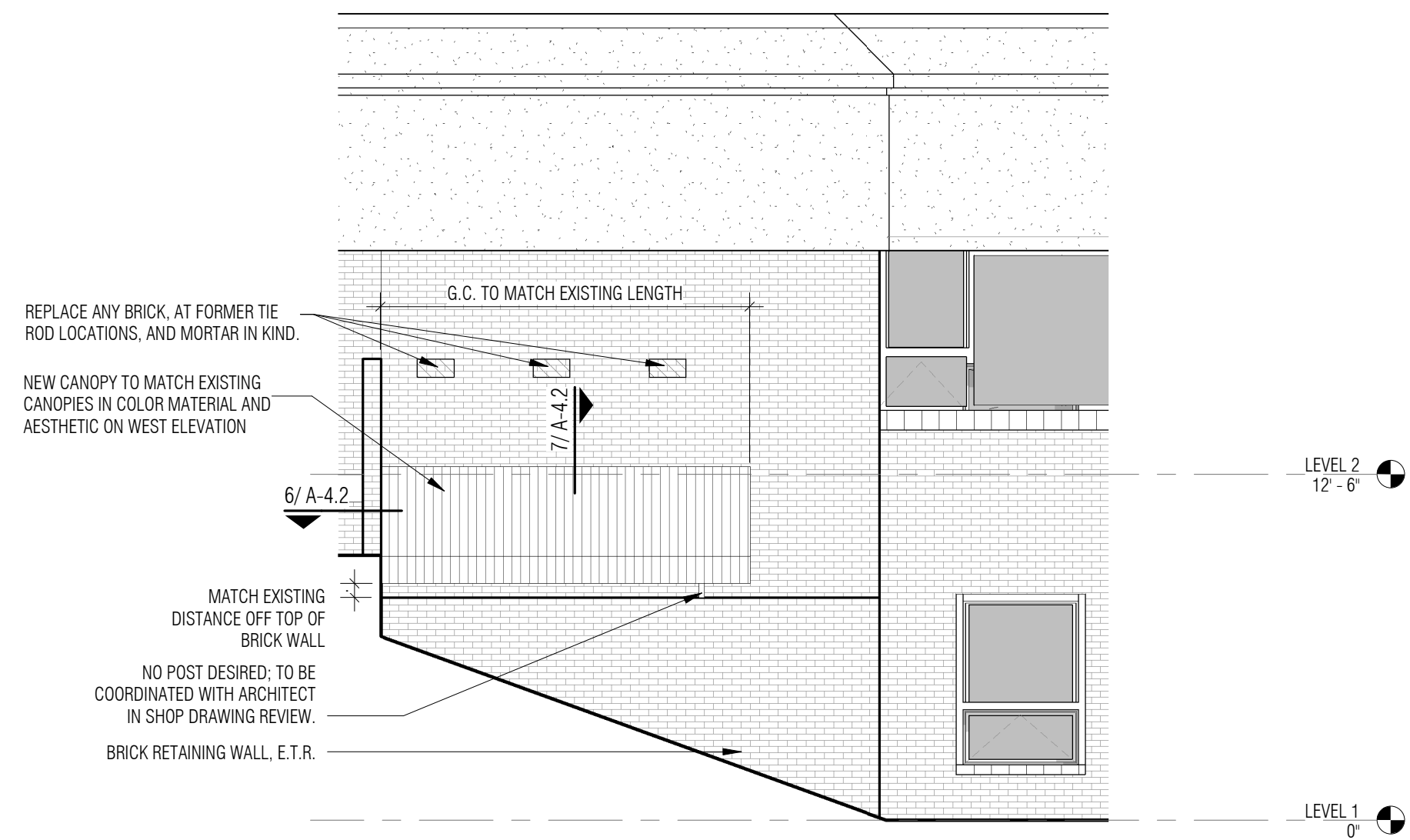
VIEW OF NORTH ELEVATION LOOKING EAST TOWARD WATER TREATMENT PLANT



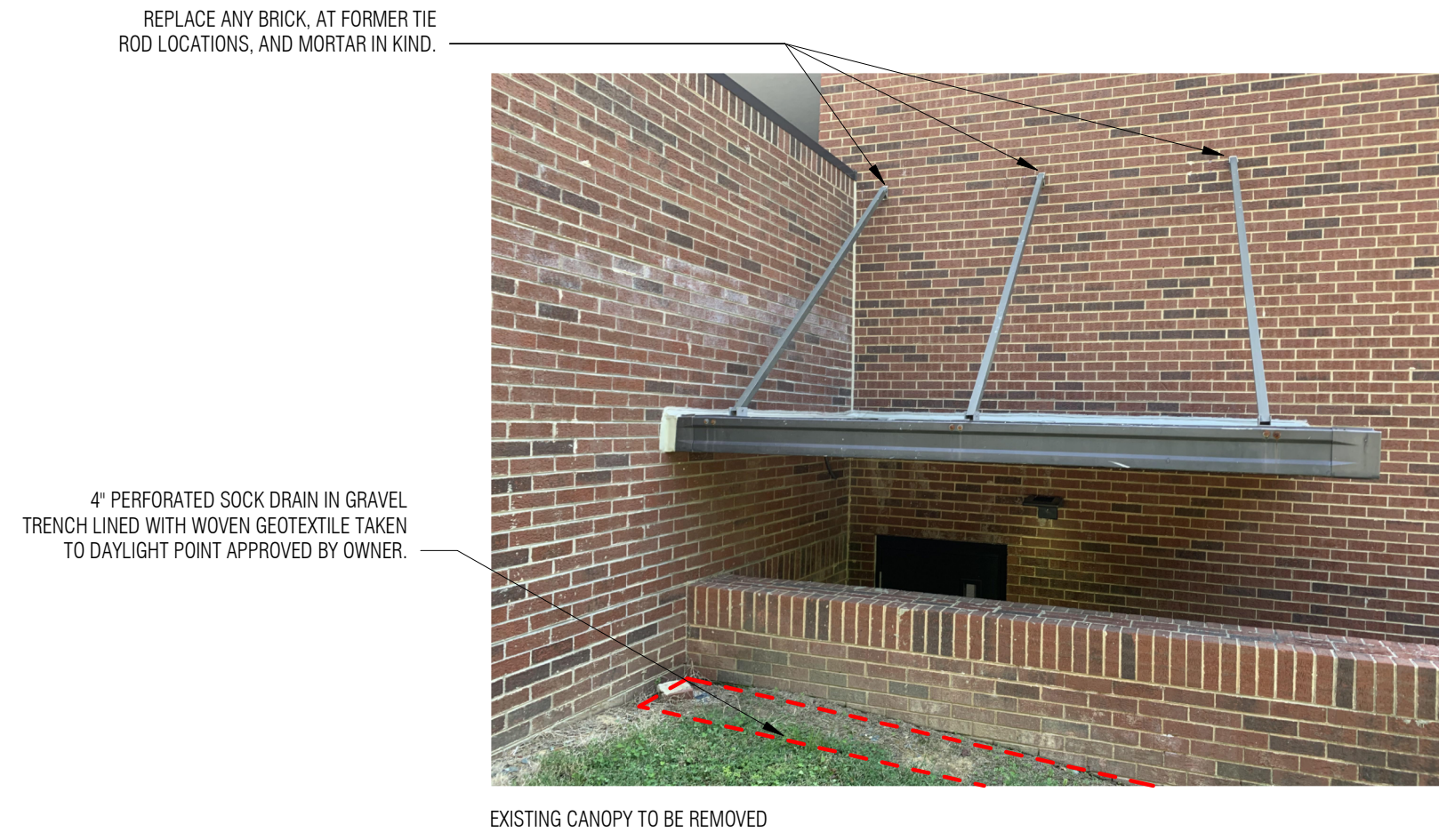
EXTERIOR SOFFIT KEY PLAN



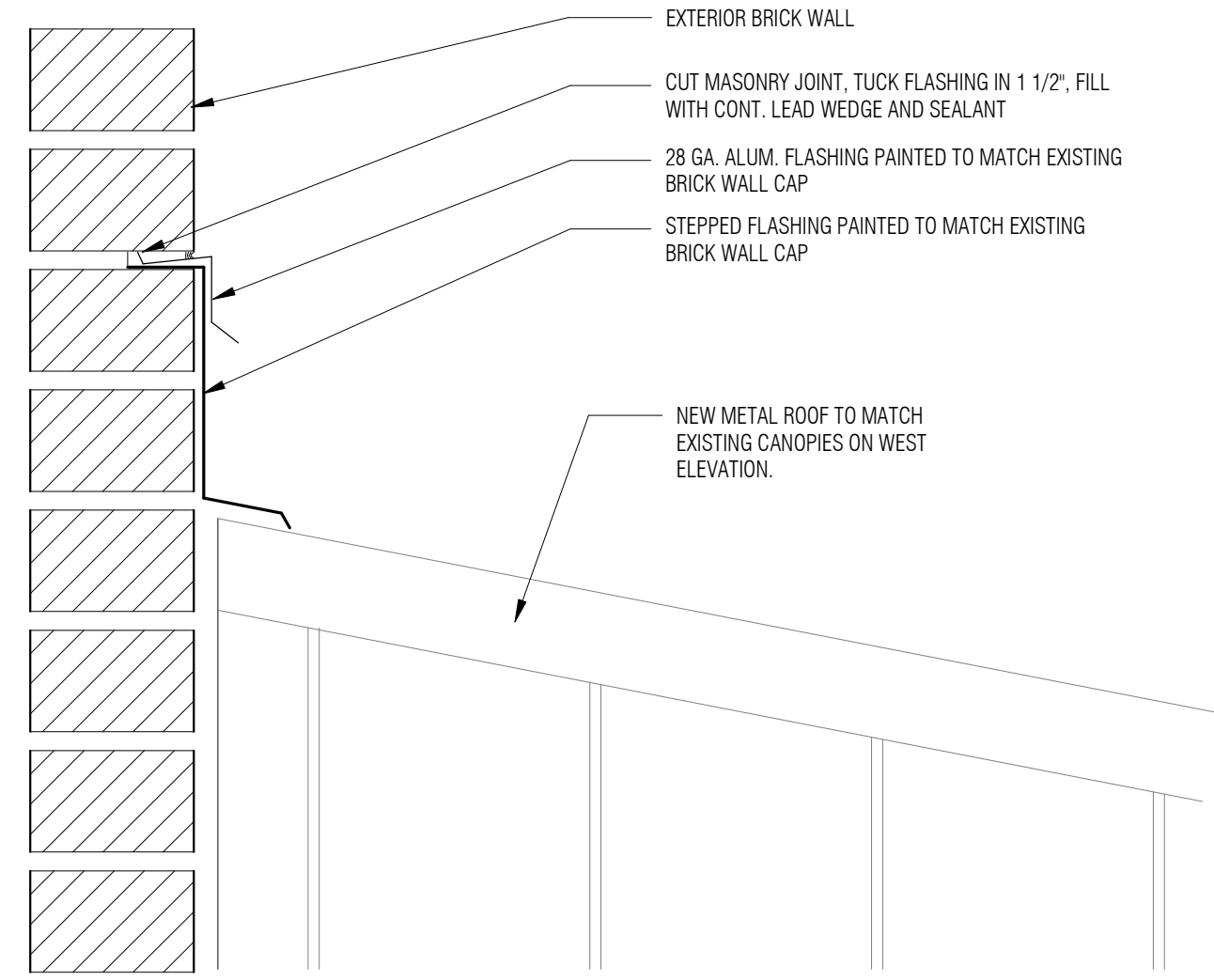
4 PARTIAL WEST ELEVATION AT NEW CANOPY
3/16" = 1'-0"



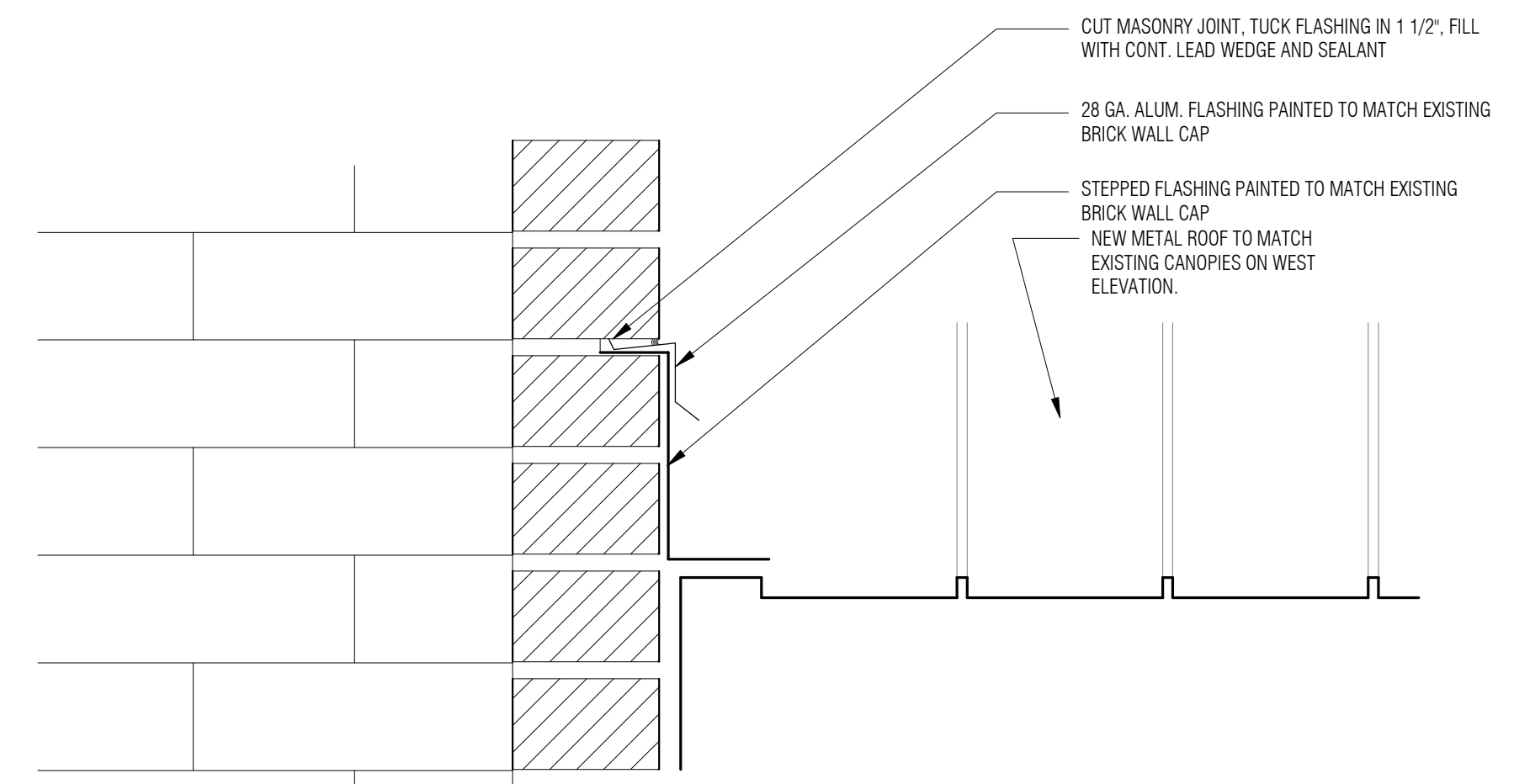
5 PARTIAL NORTH ELEVATION AT NEW CANOPY
3/16" = 1'-0"



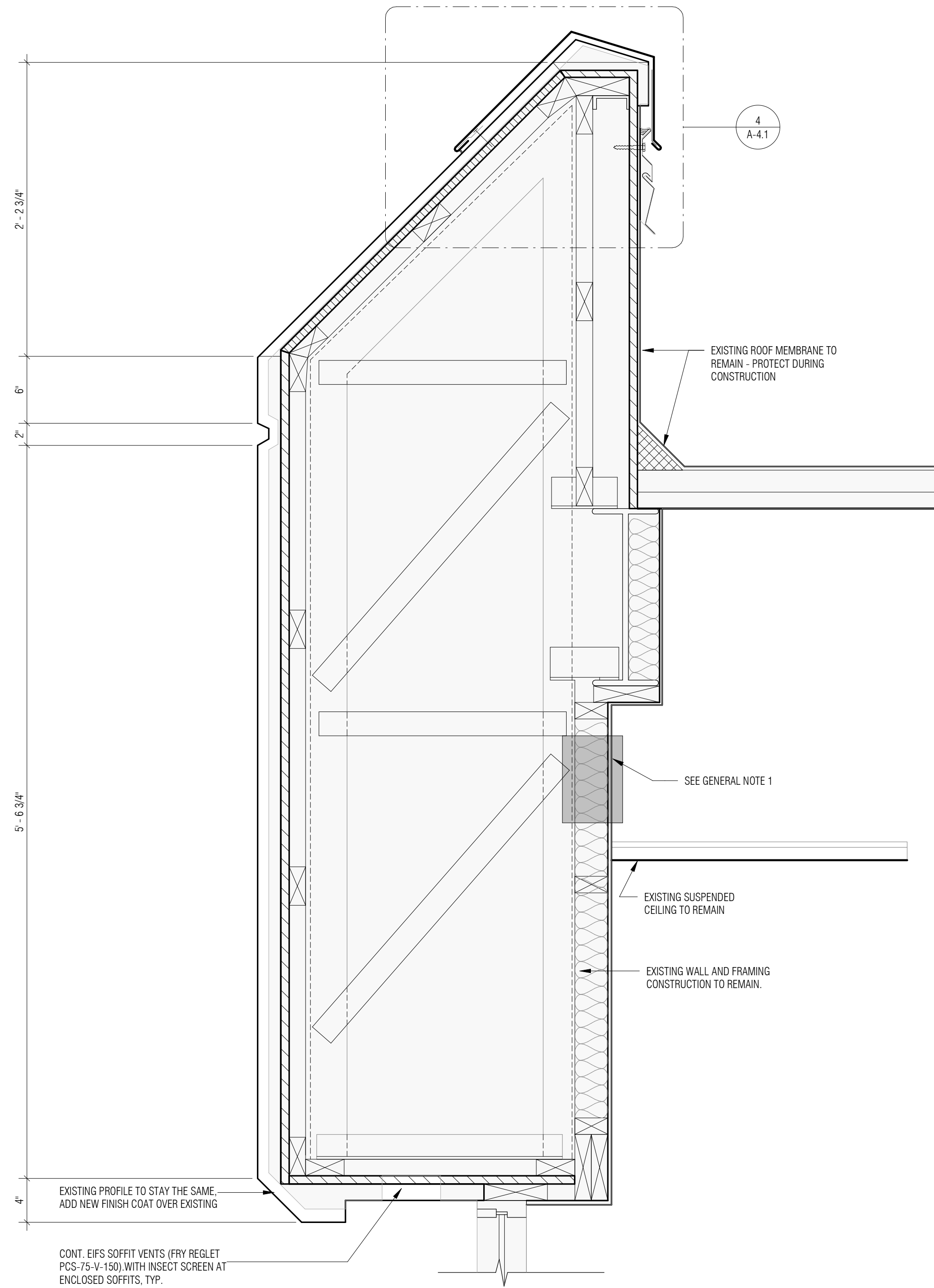
EXISTING CANOPY TO BE REMOVED



7 HEAD FLASHING AT NEW CANOPY
3\"/>



6 COUNTER FLASHING AT CANOPY SIDE WALL
3\"/>



2 SOFFIT DETAIL
1 1/2\"/>

GENERAL NOTES:

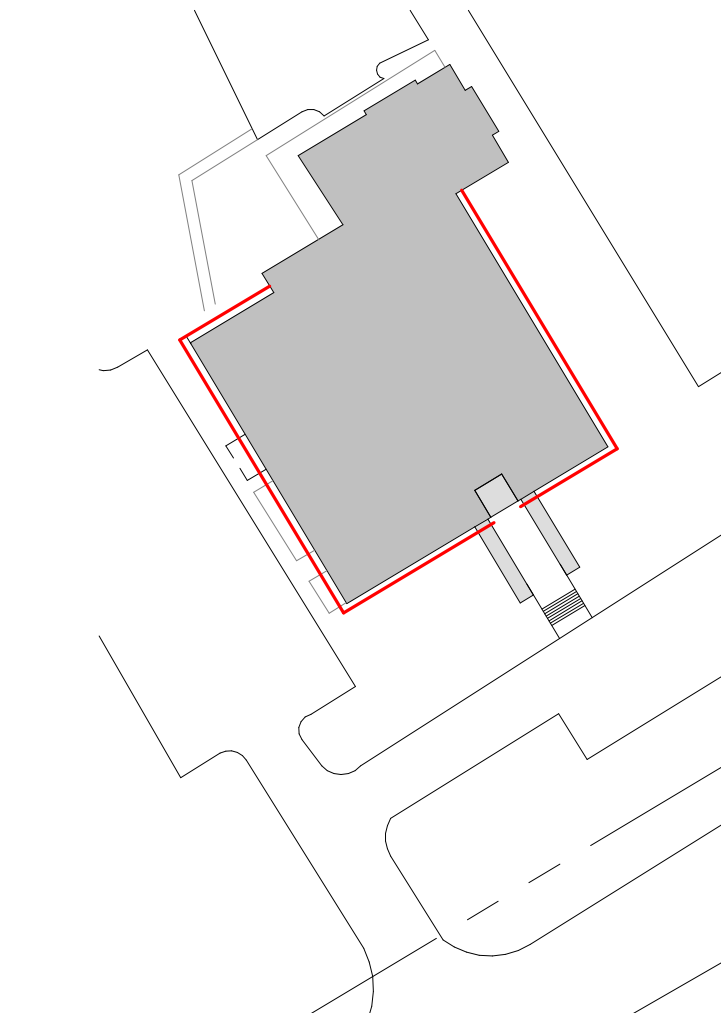
- G.C. SHALL SPOT INVESTIGATE ENCLOSED CAVITIES FROM THE INTERIOR ABOVE THE CEILING AND SOFFIT BELOW AT EACH WALL WITH ENCLOSED SOFFITS. UPON EXAMINATION IF THERE IS ANY MOLD OR MILDEW FOUND NOTIFY OWNER AND ARCHITECT IMMEDIATELY AND RE-SEAL THE OPENING TO ENSURE NO NEGATIVE EFFECTS OF INDOOR AIR QUALITY INFILTRATE THE BUILDING.
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- MAINTAIN EXISTING PROFILE OF EIFS U.N.O.
- VERIFY ALL MATERIALS ARE INSTALLED IN ACCORDANCE WITH CURRENT INSTALLATION INSTRUCTIONS. ALL TERMINATIONS MUST BE FULLY ENCAPSULATED WITH MESH REINFORCED BASE COAT.
- PROVIDE A BACK WRAPPED TYPE JOINT WITH BACKER ROD AND SEALANT AT SYSTEM TERMINATION AT SOFFIT / FASCIA TRANSITIONS.
- REFERENCE KEY PLAN - THIS SHEET FOR EXTENT OF PROPOSED DETAILS.

LEGEND:

- EXISTING TO REMAIN
- NEW WORK

MATERIAL	APPROXIMATE QUANTITY*
METAL ROOF COPING	575 LF
EIFS SURFACE	~5,700 sf
BRIDGE FARGE COAT	~1,300 sf
EIFS SOFFIT VENT	~350 LF

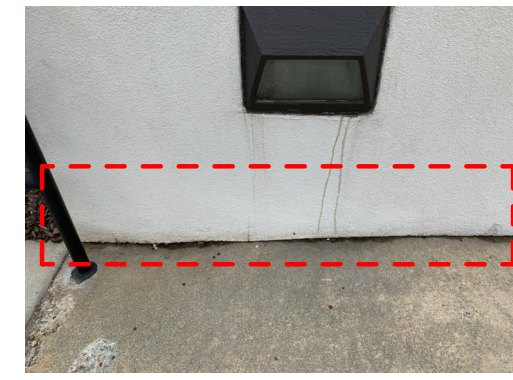
*NOTE: QUANTITIES ARE APPROXIMATE. G.C. IS TO VERIFY.



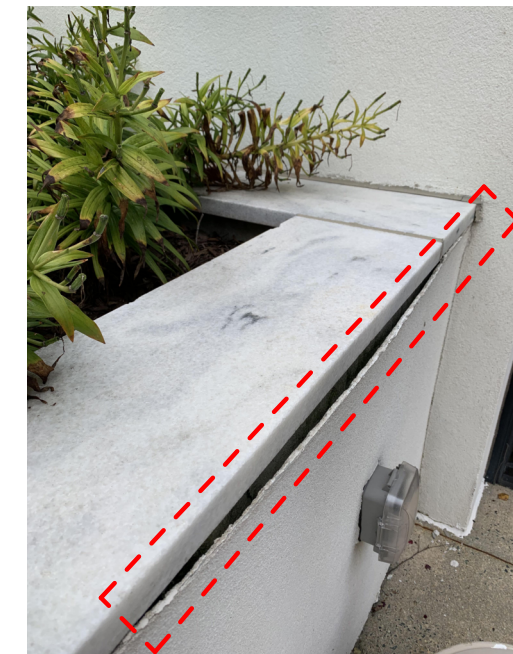
EXTERIOR SOFFIT KEY PLAN



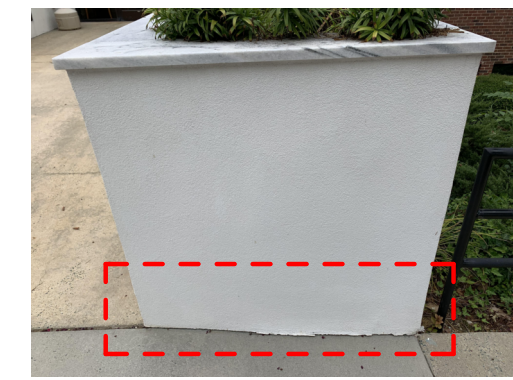
G.C. TO PATCH AND REPAIR PARGE COAT ON CONCRETE WALLS IN KIND. IMAGES BELOW NOTE AREAS IN NEED BUT FURTHER INVESTIGATION IS NEEDED TO REPAIR DELAMINATING PARGE COAT.



PARGE IMAGE 1



PARGE IMAGE 2



PARGE IMAGE 3

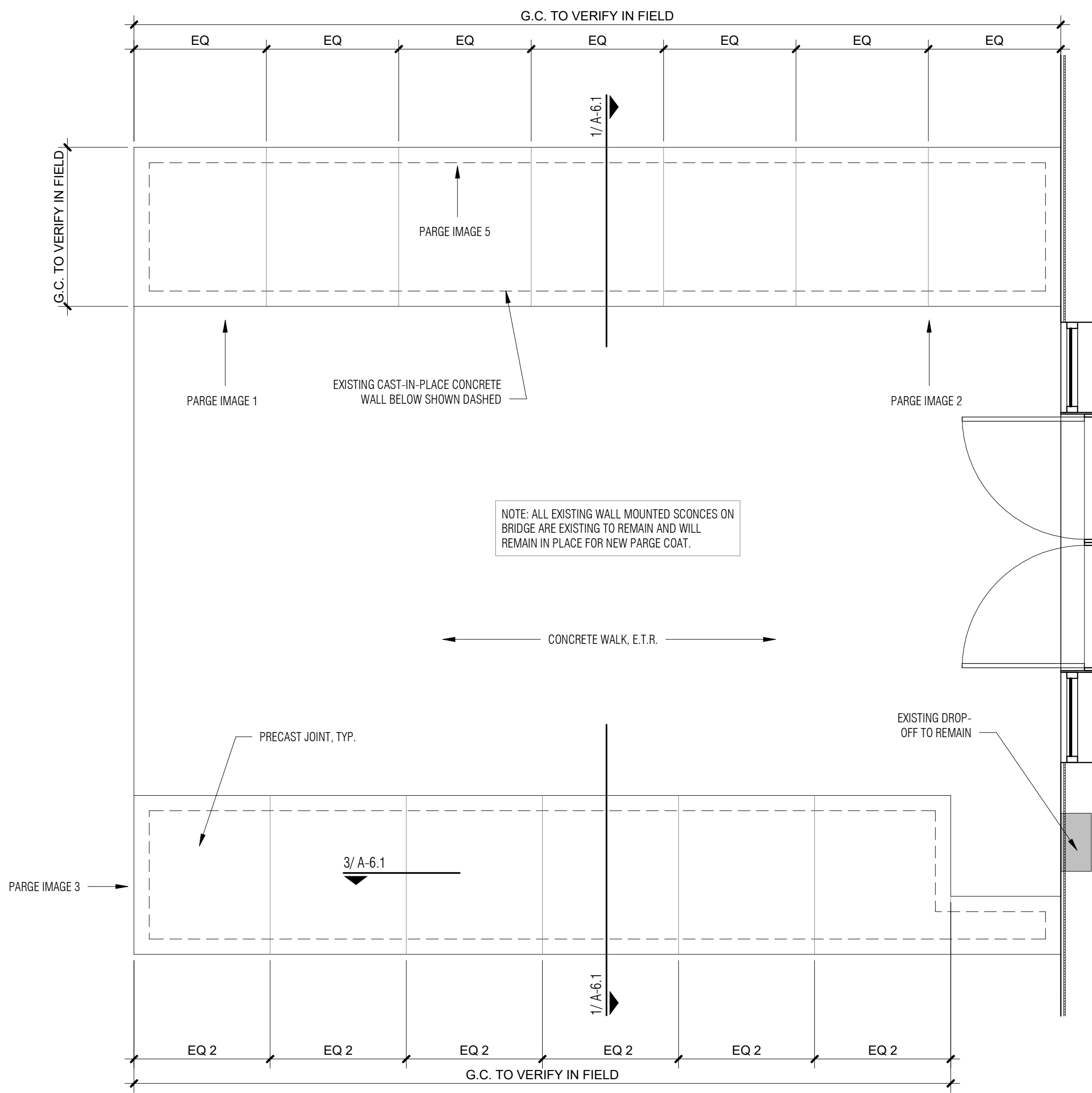


PARGE IMAGE 4



PARGE IMAGE 5 - PARGE COAT REPAIR WITHIN EXISTING PLANTERS

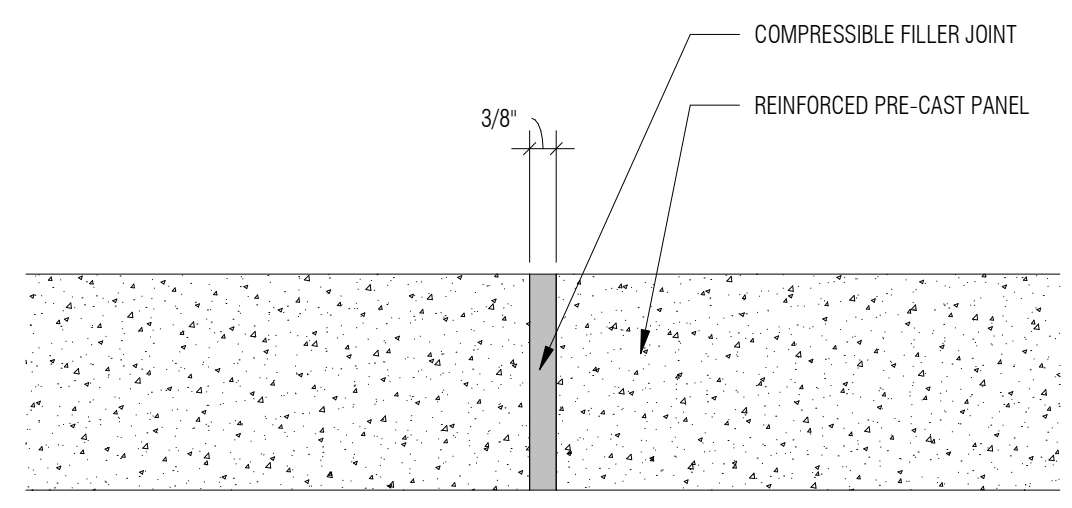
- REMOVE DRAIN PIPE
- EXISTING OVERFLOW DRAIN TO REMAIN
- REMOVE SCUPPER BOX AND DOWNSPOUT; INSTALL PIPE DRAIN SIMILAR TO OVERFLOW. PATCH AND GROUT AS NECESSARY AND REFINISH



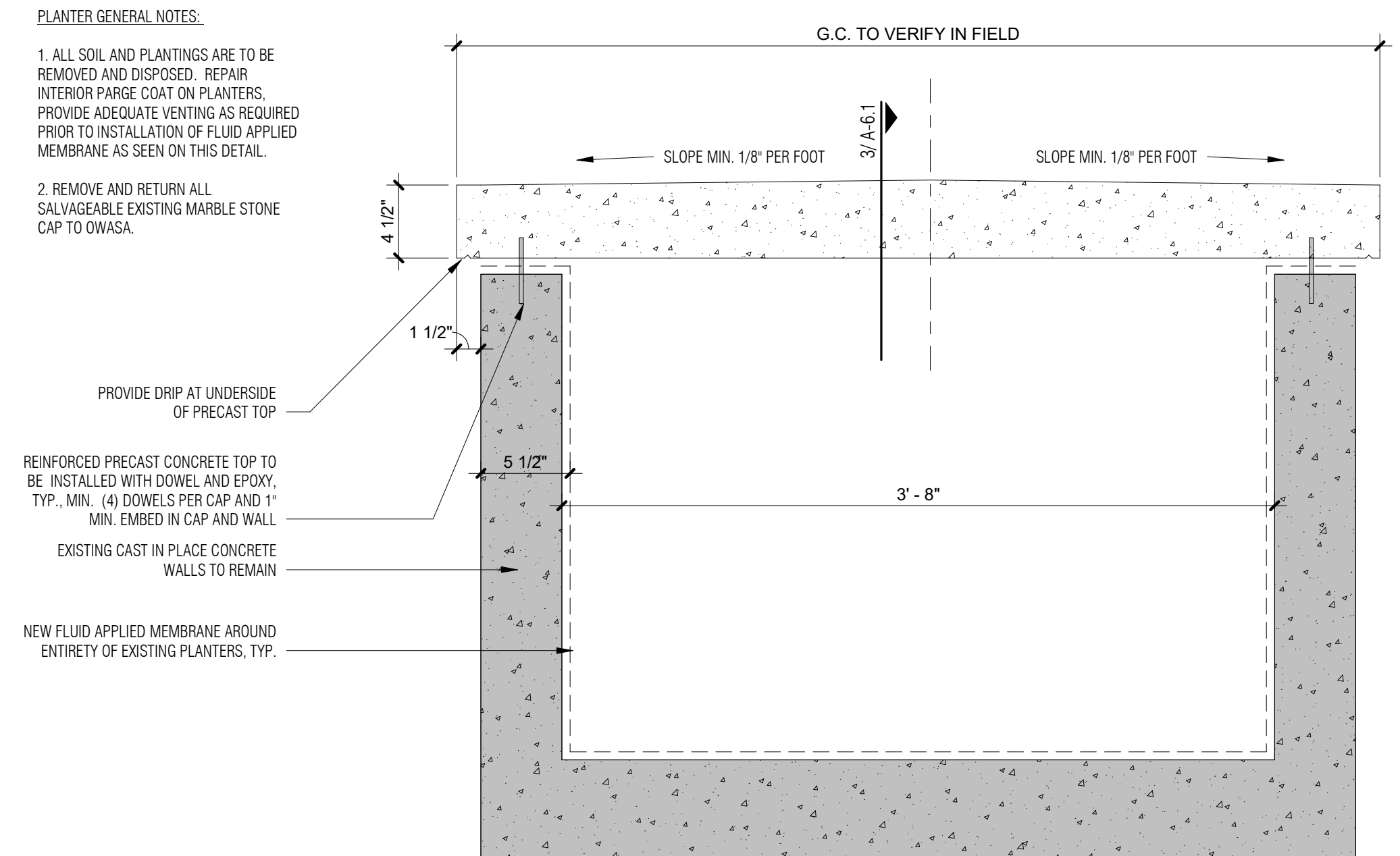
2 PLAN DETAIL @ ENTRY PLANTERS
3/8" = 1'-0"

MATERIAL	APPROXIMATE QUANTITY*
METAL ROOF COPING	575 LF
EIFS SURFACE	~5,700 sq ft
BRIDGE PARGE COAT	~1,300 sq ft
EIFS SOFFIT VENT	~350 LF

*NOTE: QUANTITIES ARE APPROXIMATE. G.C. IS TO VERIFY.



3 PRE-CAST TOP JOINT DETAIL
3/8" = 1'-0"



1 SECTION DETAIL @ PLANTER
1 1/2" = 1'-0"