

1. THE INTENT OF THIS SUBMITTAL IS TO PROVIDE ALL DESIGN INFORMATION REQUIRED TO RENOVATE AN EXISTING WAREHOUSE FOR USE AS A PRIVATE EVENTS SPACE (OCCUPANCY GROUP A-2).
2. THE BUILDING IS ONE STORY OF TYPE IIIB CONSTRUCTION, AND WILL BE SPRINKLERED PER NFPA 13.
3. THE SPACE IS CURRENTLY COMPLETELY OPEN (NO INTERIOR WALLS), SO ALL INTERIOR CONSTRUCTION SHOWN (WALLS, DOORS, FIXTURES, EQUIPMENT, ETC.) IS NEW.
4. ALL EXTERIOR WALLS, DOORS, AND WINDOWS ARE EXISTING TO REMAIN.
5. SPRINKLERING AND FIRE ALARM DESIGN WILL BE PROVIDED DESIGN-BUILD BY CONTRACTOR, INCLUDING SHOP DRAWINGS PREPARED BY AN ENGINEER LICENSED IN THE STATE OF NORTH CAROLINA.

GOV	PROJECT INFO, CODE SUMMARY
E-10	STRUCTURAL PLAN & DETAILS
A-100	LIFE SAFETY PLAN
A-101	FLOOR PLANS, NOTES & SCHEDULES
A-102	ENLARGED PLANS, INTERIOR ELEVATIONS
A-103	SECTIONS & DETAILS
P-1	PLUMBING PLAN
P-2	WATER PIPING PLAN
P-3	PLUMBING RISERS, NOTES & SCHEDULES
M-1	MECHANICAL PLAN
M-2	GAS PIPING PLAN
M-3	MECHANICAL NOTES & DETAILS
E-1	LIGHTING PLAN
E-2	ELECTRICAL POWER PLAN
E-3	ELECTRICAL NOTES & DETAILS

making places better for people

HARRISON ARCHITECTURE, PA

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▲ PROJECT SUMMARY ▲

▲ LOCATION PLAN ▲

▲ SHEET INDEX ▲

**2018 APPENDIX B
BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
(Except 1 and 2-FAMILY DWELLINGS AND TOWNHOUSES)**
(Reproduce the following data on the building plans sheet 1 or 2)

Name of Project: **HUTCHINS EVENTS HALL**
Address: **406 WEST GEER STREET, DURHAM, NC** Zip Code **27701**
Owner/Authorized Agent: **MARK HUTCHINS** Ph# **(919) 308-7777** E- **MarkHutchins@att.net**
Owned By: City/County Private State
Code Enforcement: City **DURHAM** County State

CONTACT:
DESIGNER FIRM: **HARRISON ARCH** NAME: **W. HARRISON** LIC#: **9543** PH#: **(919)949-4030** E-MAIL: **harrisonarchpa@gmail.com**
Civil: **ALAMANCE ENG. KEVIN BENDEL** 25043 (336)449-4558 **Kevin.Bengel@ace-nc.net**
Electrical: **ALAMANCE ENG. KEVIN BENDEL** 25043 (336)449-4558 **Kevin.Bengel@ace-nc.net**
Fire Alarm: **ALAMANCE ENG. KEVIN BENDEL** 25043 (336)449-4558 **Kevin.Bengel@ace-nc.net**
Plumbing: **ALAMANCE ENG. KEVIN BENDEL** 25043 (336)449-4558 **Kevin.Bengel@ace-nc.net**
Mechanical: **ALAMANCE ENG. KEVIN BENDEL** 25043 (336)449-4558 **Kevin.Bengel@ace-nc.net**
Sprinkler-Standpipe (SEPARATE COVER)
Structural: **NEVILLE ENG. GUS NEVILLE** 05114 (919)942-5229 **gusnev@aci.com**
Retaining Walls >5' High: **N/A**
Other: **N/A**

2018 NC BUILDING CODE: New Construction Addition Renovation
 1st Time Interior Completion
 Shell/ Core- Contact the local inspection jurisdiction for possible add'l procedures and requirements
 Phased Construction- Contact the local inspection jurisdiction for possible add'l procedures and requirements.

2018 NC EXISTING BUILDING CODE: Prescriptive Repair Chapter 14
ALTERATION: Level I Level II Level III
 Historic Property Change of Use

CONSTRUCTED: 1948 CURRENT OCCUPANCY(S) (Ch. 3): **MERC, STORAGE S-1**
RENOVATED: 1962 PROPOSED OCCUPANCY(S) (Ch. 3): **MERC, ASSEMB. A-2**
RISK CATEGORY (Table 1604.5): **Current:** I II III IV
Proposed: I II III IV

BASIC BUILDING DATA
Construction Type: I-A II-A III-A IV V-A
(check all that apply) I-B II-B III-B V-B
Sprinklers: No Partial Yes NFPA 13 NFPA 13R NFPA 13D
Standpipes: No Yes Class I II III Wet Dry
Fire District: No Yes (Primary) Flood Hazard Area: No Yes
Special Inspections Req'd: No Yes (Contact the local inspection jurisdiction for possible add'l procedures and requirements)

GROSS BUILDING AREA TABLE

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	TOTAL
1 ST FLOOR- PIONEERS (MERC)	2,971	N/A	
MEZZ- PIONEERS (STOR S-1)	1,427	N/A	
1 ST FLOOR- EVENTS HALL (A-2)	7,473	N/A	
MEZZ- EVENTS HALL (S-1, A-2)		1,132	
TOTAL	11,871	1,132	13,003

ALLOWABLE AREA
Primary Occupancy Classification: Select One
Assembly A-1 A-2 A-3 A-4 A-5
Business
Educational
Factory F-1 Moderate F-2 Low
Hazardous H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM
Institutional I-1 Condition 1 2
 I-2 Condition 1 2
 I-3 Condition 1 2 3 4 5
Mercantile I-4
Residential R-1 R-2 R-3 R-4
Storage S-1 Moderate S-2 Low High-piled
 Parking Garage Open Enclosed Repair Garage
Utility and Miscellaneous

Accessory Occupancy Classification(s): STORAGE S-1
Incidental Uses (Table 509): **BUSINESS**
Special Uses (Chapter 4 - List Code Sections):
Special Provisions: (Chapter 5 - List Code Sections):
Mixed Occupancy: No Yes Separation: **N/A** Exception:
 Non-Separated Use (508.3)
The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.
 Separated Use (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.
$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	REQ'D	RATING PROVIDED	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
Structural Frame-including columns, girders, trusses		0	0				(EXISTING- NO CHANGE)
Bearing Walls		0	0				
Exterior		0	0				(EXISTING- NO CHANGE)
North		0	0				(EXISTING- NO CHANGE)
East		0	0				(EXISTING- NO CHANGE)
West		0	0				(EXISTING- NO CHANGE)
South		0	0				(EXISTING- NO CHANGE)
Interior		0	0				(EXISTING- NO CHANGE)
Nonbearing Walls and Partitions		0	0				(EXISTING- NO CHANGE)
Exterior walls		0	0				(EXISTING- NO CHANGE)
North		0	0				(EXISTING- NO CHANGE)
East		0	0				(EXISTING- NO CHANGE)
West		0	0				(EXISTING- NO CHANGE)
South		0	0				(EXISTING- NO CHANGE)
Interior walls and partitions		0	0				(EXISTING- NO CHANGE)
Floor Construction including supporting beams and joists		0	0				(EXISTING- NO CHANGE)
Roof Construction including supporting beams and joists		0	0				(EXISTING- NO CHANGE)
Shaft Enclosures - Exit	N/A	N/A	N/A				(EXISTING- NO CHANGE)
Shaft Enclosures - Other	N/A	N/A	N/A				(EXISTING- NO CHANGE)
Corridor Separation	N/A	N/A	N/A				(EXISTING- NO CHANGE)
Occupancy Separation	0	0					
Party/Fire Wall Separation	N/A	N/A	N/A				
Smoke Barrier Separation	N/A	N/A	N/A				
Tenant Separation	N/A	N/A	N/A				
Incidental Use Separation	N/A	N/A	N/A				

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: No Yes
Exit Signs: No Yes
Fire Alarm: No Yes
Smoke Detection Systems: No Yes Partial
Panic Hardware: No Yes

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: **SHEET A-001**
 Fire and/or smoke rated wall locations (Chapter 7)
 Assumed and real property line locations (if not on the Site Plan) N/A- INTERIOR RENOVATION ONLY
 Exterior wall opening area with respect to distance to assumed property lines (705.8) N/A
 Occupancy use for each area as it relates to occupant load calculation (Table 1004.1.2)
 Occupant loads for each area
 Exit access travel distances (1017)
 Common path of travel distances (1006.2.1 & 1006.3.2(1))
 Dead end lengths (1020.4) N/A
 Clear exit widths for each exit door
 Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
 Actual occupant load for each exit door
 A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation N/A
 Location of doors with panic hardware (1010.1.10)
 Location of doors with delayed egress locks and the amount of delay (1010.1.9.7) N/A
 Location of doors with electromagnetic egress locks (1010.1.9.9) N/A
 Location of doors equipped with hold-open devices N/A
 Location of emergency escape windows (1030) N/A
 The square footage of each fire area (202)
 The square footage of each smoke compartment for Occupancy Classification I-2 (407.5) N/A
 Note any code exceptions or table notes that may have been utilized regarding the items above

OCCUPANT LOAD CALCULATION

USE	AREA (SQ)	AREA/OCCUPANT (TABLE 1004.1.2)	# OCCUPANTS
ASSEMBLY A-2	3,418	7 NET	492.57
ASSEMBLY A-2	1,212	15 NET	80.8
KITCHEN	231	200 GROSS	1.15
STORAGE	1,039	300 GROSS	3.46
TOTAL			578

PLUMBING FIXTURE REQUIREMENTS

REQ'D	WATER CLOSING URINALS			LAVATORIES			SERVICE SINK	DRINKING FOUNTAINS	
	MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX		REGULAR	ACCESSIBLE
REQ'D	4	4	2	2	2	-	1	1	1
PROV	6	6	1	4	3	1	1	1	1

STORY NO.	DESCRIPTION & USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2 AREA	(C) AREA FOR FRONTAGE INCREASE %	(D) ALLOWABLE AREA PER STORY OR UNLIMITED
1	M, A-2	10,444			
M	S-1, A-2	2,559			
TOTAL		13,003	24,000	N/A	24,000

- 1 Frontage area increases from Section 506.2 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = ____ (ft)
b. Total Building Perimeter = ____ (ft)
c. Ratio (F/P) = (F/P)
d. W = Minimum width of public way = ____ (ft)
e. Percent of frontage increase $I = 100 [F/P - 0.25] \times W/30 = ____ (\%)$
- 2 Unlimited area applicable under conditions of Section 507.
- 3 Maximum Building Area = total number of stories in the building x E (506.2).
- 4 The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1.
- 5 Frontage increase is based on the un sprinklered area value in Table 506.2.

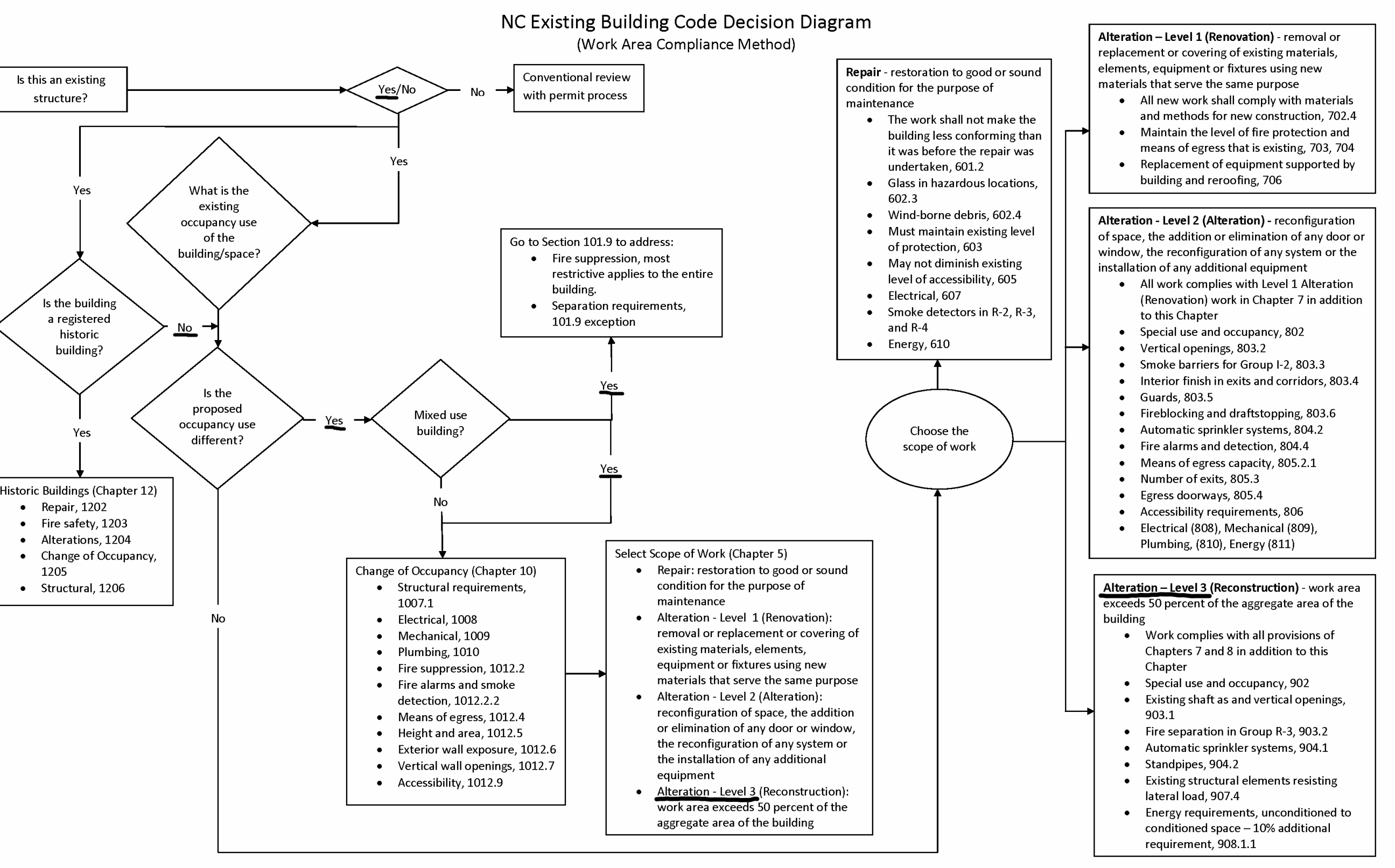
ALLOWABLE HEIGHT

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3)	60 FEET	18 FEET	504.3
Building Height in Stories (Table 504.4)	2	1 W/ MEZZ	504.4

1 Provide Code reference if "Shown on Plans" value is not based on Table 504.3 or Table 504.4

PERCENTAGE OF WALL OPENINGS CALCULATIONS
N/A- ALL WALL OPENINGS ARE EXISTING TO REMAIN

FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS

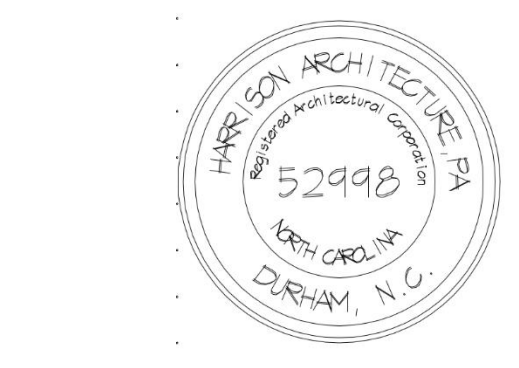


HUTCHINS EVENTS HALL

PERMIT SET

406 WEST GEER STREET
DURHAM, NC 27701

SEPTEMBER 8th, 2022
JOB #201912-HEH



William M. Harrison
09.08.2022

prepared for
PERMIT SET
project name
HUTCHINS EVENTS HALL

406 WEST GEER STREET
DURHAM, NC 27701
project number
201912-HEH
drawing title

PROJECT INFORMATION CODE SUMMARY
drawing scale
orientation

revision history

Mark	Date	Description
	11/20/2019	PROGRESS SET
	12/04/2019	PERMIT SET
	01/08/2020	OWNER VE CHANGES
	09/08/2022	REVISED FOR PERMIT

Issue/Revision
CAD File Name
Drawn By
Checked By
Plot Date:
Reviewed by
Designed by
Submitted By
Drawing Code:

issue date
09/08/2022
sheet index
A COV



William M. Harrison
09.08.2022

OCCUPANT LOAD			
ROOM	AREA	AREA OCC	OCCUP.
LOBBY 101	340	15 NET	26
STOR 102	290	300 GR	97
LNGE 103	121	15 NET	8.47
EVENT 104	3,448	7 NET	442.57
STOR 108	42	300 GR	14
KITCH 109	231	200 GR	1.16
LNGE 110	184	15 NET	12.27
STOR 111	32	300 GR	11
LOBBY 112	227	15 NET	15.13
LNGE 201	284	15 NET	18.93
STOR 203	675	300 GR	2.25
TOTAL			578

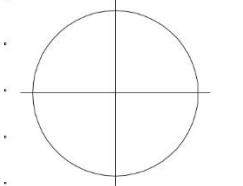
PLUMBING FIXT		
TYPE	REQ'D	PROV.
WATER CLOSETS (F)	4	7
WATER CLOSETS (M)	4	6
LAVATORIES (F)	2	4
LAVATORIES (M)	2	4
WATER FOUNTAINS	2	2
SERVICE SINK	1	2

EGRESS DOORS			
MARK	CLEAR	CAPACITY	ACTUAL
E1	30"	533	125
E2	30"	533	125
E3	34"	227	75
E4	30"	533	125
E5	30"	533	125
E6	34"	227	22

prepared for
PERMIT SET
project name

**HUTCHINS
EVENTS HALL**
406 WEST GEER STREET
DURHAM, NC 27701
project number
201912-HEH
drawing title
LIFE SAFETY PLAN

drawing scale
orientation

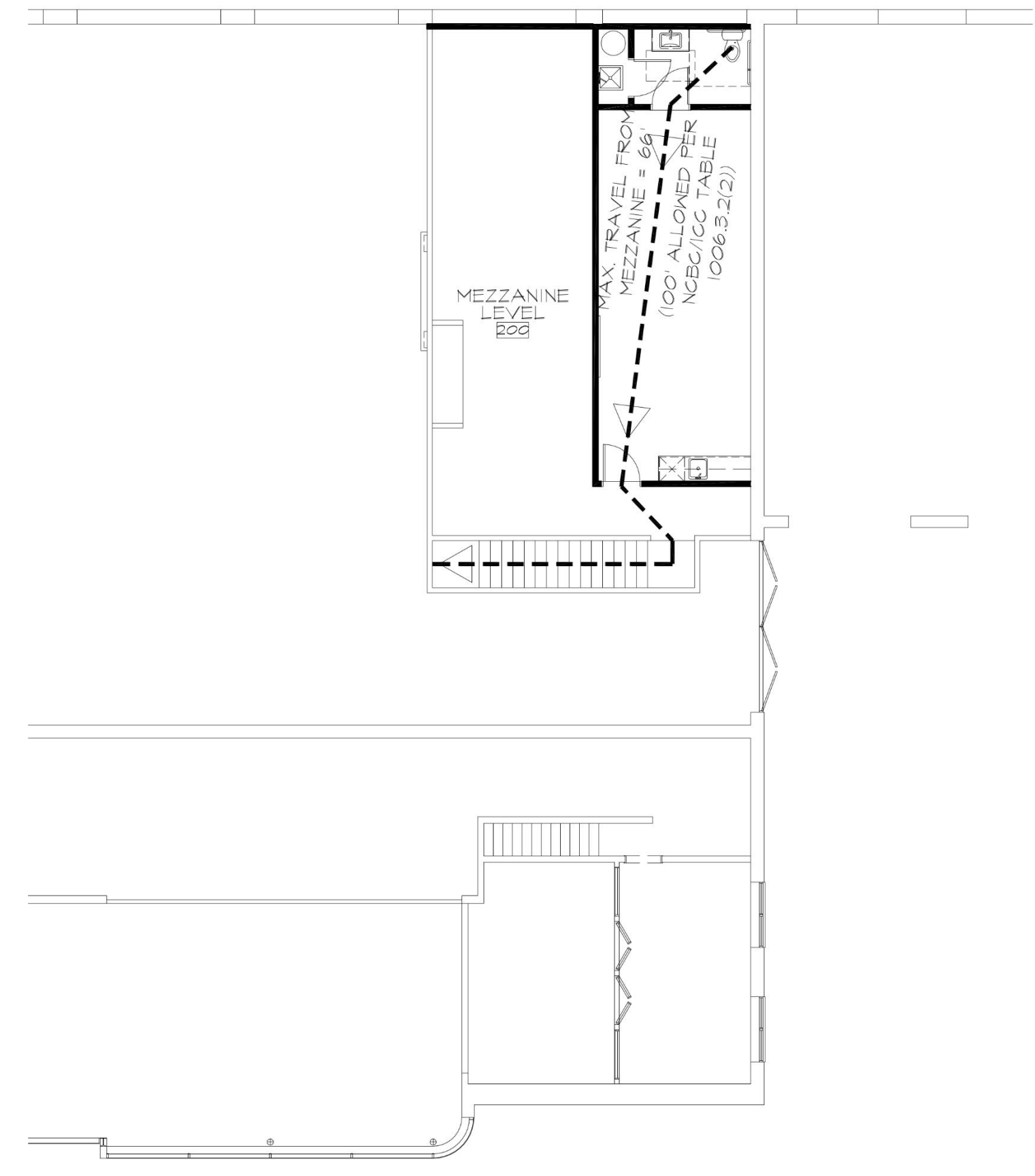


revision history	
11/20/2019	PROGRESS SET
12/04/2019	PERMIT SET
01/08/2020	OWNER VE CHANGES
09/08/2022	REVISED FOR PERMIT

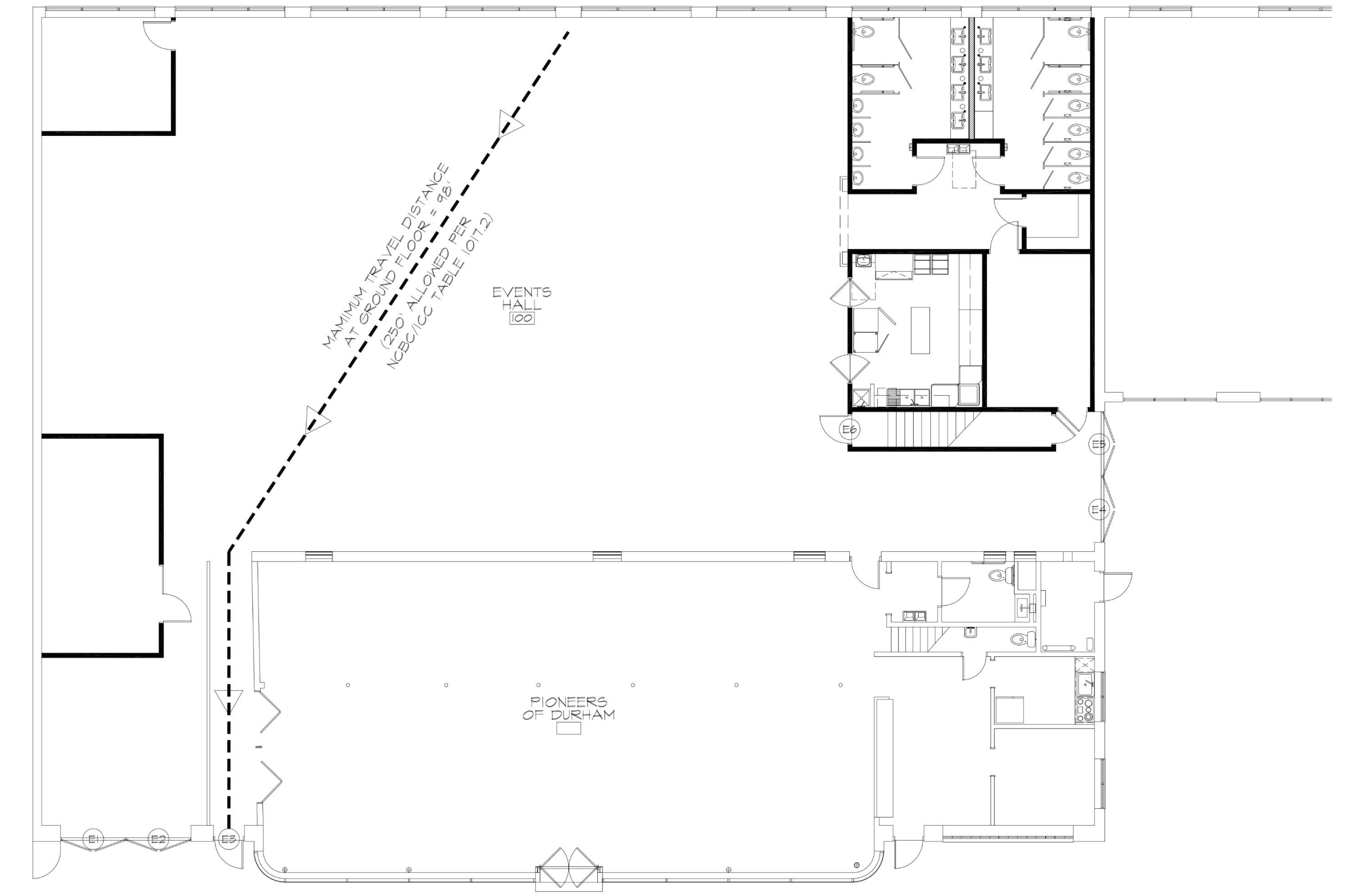
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Issue/Revision		
CAD File Name		
Drawn By		
Checked By		
Plot Date		
Reviewed by		
Designed by		
Submitted By		
Drawing Code		

issue date
09/08/2022
sheet index

A 001



2 LIFE SAFETY PLAN- MEZZANINE
A-001 3/32" = 1'-0"



1 LIFE SAFETY PLAN- GROUND FLR
A-001 3/32" = 1'-0"



William M. Harrison
 09.08.2022

prepared for

PERMIT SET

HUTCHINS
 EVENTS HALL

406 WEST GEER STREET
 DURHAM, NC 27701

201912-HEH

FLOOR PLANS
 NOTE & SCHEDULES

drawing scale

orientation

revision history

Date	Description
11/20/2019	PROGRESS SET
12/04/2019	PERMIT SET
01/08/2020	OWNER VE CHANGES
09/08/2022	REVISED FOR PERMIT

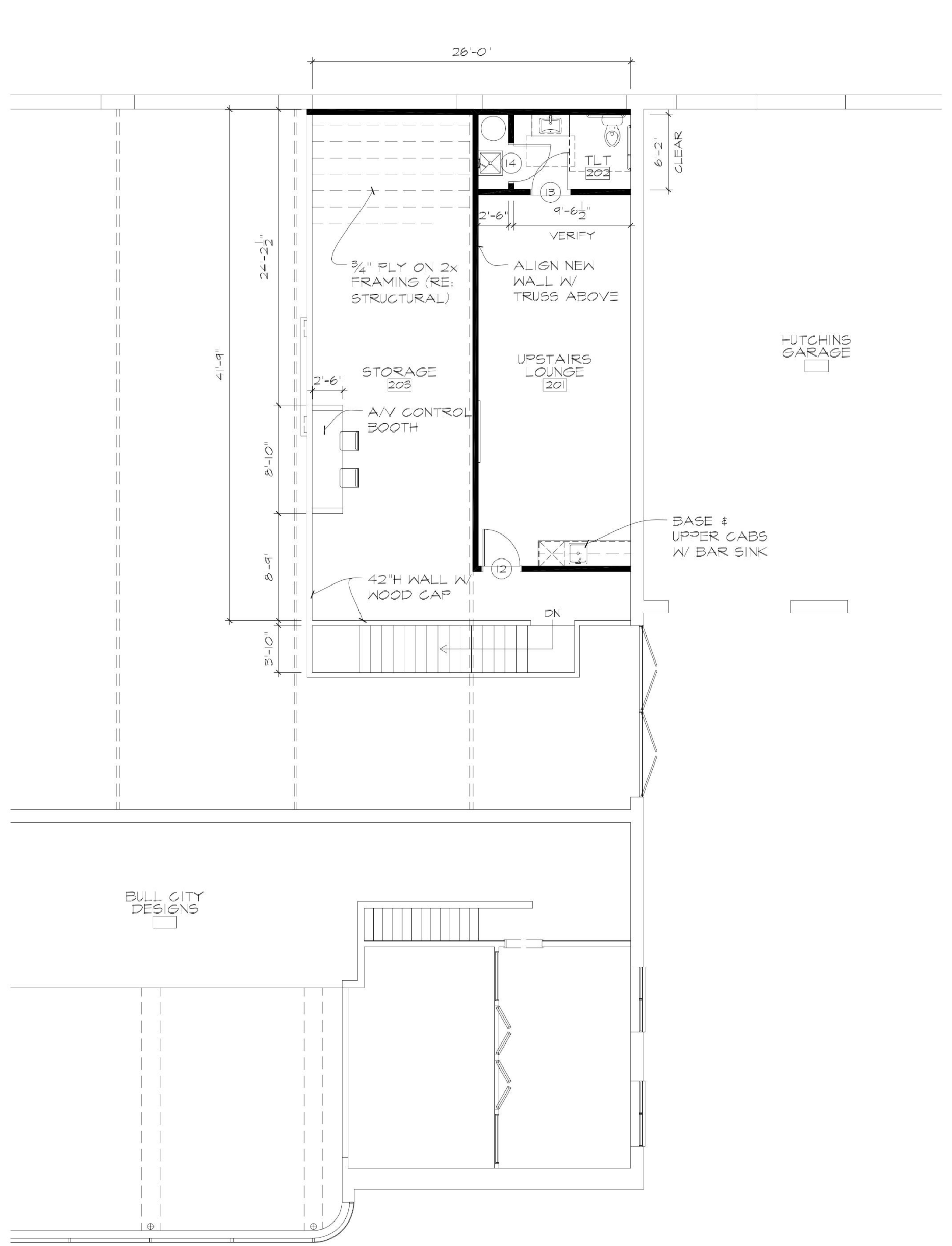
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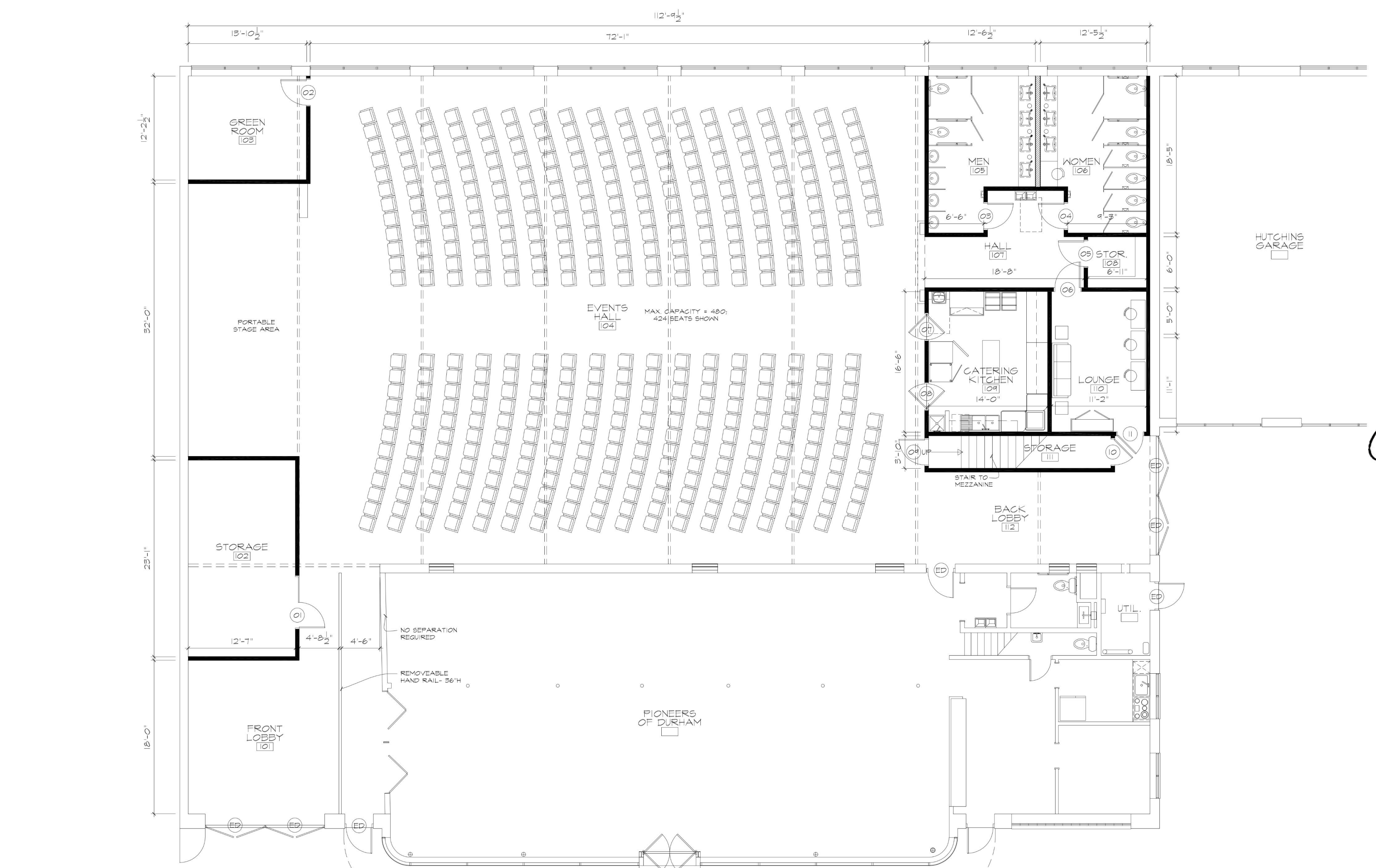
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sheet index

A 101



2 MEZZANINE PLAN
 A-100 1/8" = 1'-0"



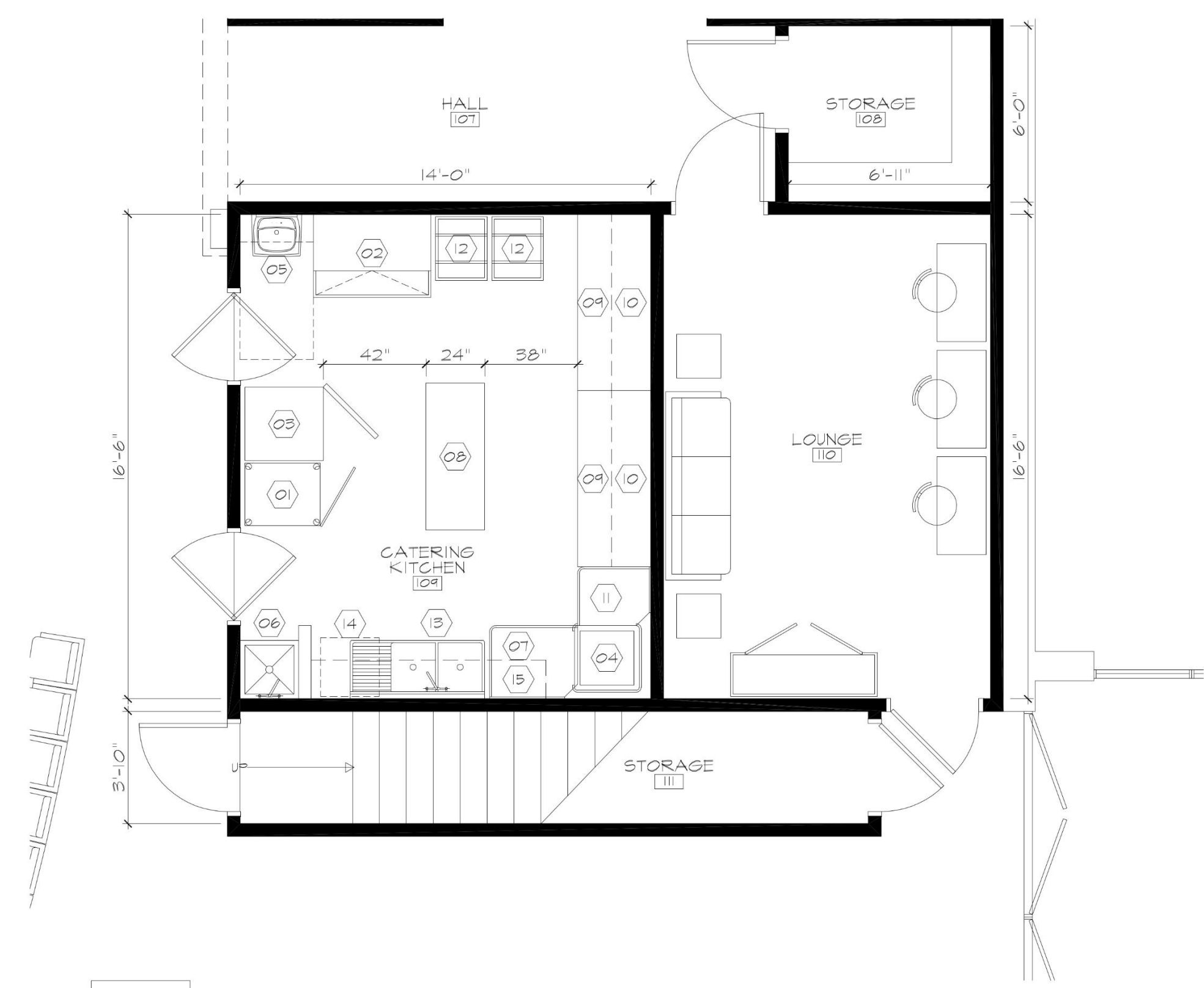
1 GROUND FLOOR PLAN
 A-100 1/8" = 1'-0"

GENERAL NOTES		GEN'L NOTES (CONT'D)		DOOR SCHEDULE		FINISH SCHEDULE										
1) GENERAL CONTRACTOR (GC) IS RESPONSIBLE FOR ANY AND ALL PERMITS AND/OR INSPECTIONS REQUIRED BY ANY AUTHORITY HAVING JURISDICTION OVER CONSTRUCTION OF WORK DESCRIBED IN THESE PLANS.	2) GC AND ALL SUBCONTRACTORS SHALL COORDINATE W/ OWNER TO DETERMINE LOCATION AND AVAILABILITY OF PARKING FOR CONSTRUCTION PERSONNEL.	1) MEZZANINE FLOOR FRAMING SHALL BE 2x10s @ 16" O.C. W/ 3/4" T&G WOOD SHEATHING, GLUED & SCREWED (SEE STRUCTURAL ENGINEERING PLAN).	2) FILL IN EXISTING SERVICE PIT W/ GRAVEL AND/OR SAND, INSTALL NEW 4" CONCRETE SLAB W/ WAF OVER VAPOR BARRIER, PROVIDE STEEL DOVELS @ 16" O.C. WHERE NEW SLAB MEETS EXISTING.	DR#	WIDTH	HGT	DOOR TYPE	HARDWARE	NOTES	RM#	RM NAME	FLOOR	WALL	BASE	CLG	NOTES
3) ALL DIMENSIONS ARE TO FINISH FACE OF WALL U.N.O.	4) GC SHALL FIELD VERIFY ALL EXISTING CONDITIONS SHOWN ON THESE PLANS, AND NOTIFY OWNER & ARCHITECT OF ANY CONFLICTS PRIOR TO CONSTRUCTION FOR RESOLUTION.	3) SLAB OVERLAY: OVER TIME BUILDING HAS SETTLED ALONG NORTH WALL (WINDOWS); SLAB OVERLAY AREA = 15' X 113' FROM 3/4" MIN. TO 34" MAX. (AT WALL).	4) REFER TO ENGINEERING PLANS FOR SCOPE OF PLUMBING, MECHANICAL AND ELECTRICAL IMPROVEMENTS.	01	(2) 3'-0"	7'-0"	2 PANEL	STORAGE	(1) ACTIVE LEAF, (1) FLUSH BOLT	101	FRONT LOBBY	CNC	BRK	-	EXP	WOOD BASE NEW WALLS ONLY
5) GC IS RESPONSIBLE TO ENSURE THAT NO DAMAGE IS CAUSED BY CONSTRUCTION OR CONSTRUCTION PERSONNEL TO ANY BUILDING ELEMENT WITHIN EXTENTS OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO PAVING/ SIDEWALKS, LANDSCAPED AREAS, PUBLIC RESTROOMS, AND OTHER INTERIOR SPACES.	6) GC IS RESPONSIBLE TO ENSURE THAT NO DAMAGE IS CAUSED BY CONSTRUCTION OR CONSTRUCTION PERSONNEL TO ANY BUILDING ELEMENT WITHIN EXTENTS OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO WALLS, WINDOWS, DOORS, CEILINGS, LIGHT FIXTURES, PLUMBING FIXTURES, & EQUIPMENT.	5) THE FOLLOWING ITEMS SHALL BE PROVIDED BY THE OWNER, INSTALLED BY GC: TOILET PARTITIONS, LIGHT FIXTURES AT EVENTS HALL AND LOBBIES, STAGE LIGHTING, ALL A/V COMPONENTS INCLUDING DIGITAL PROJECTOR AND ELECTRONIC PROJECTION SCREEN.		02	3'-0"	7'-0"	2 PANEL	OFFICE	WEATHERSTRIPPING FOR SOUND ATTENUATION	102	STORAGE	CNC	PGB	WB	PGB	
7) IN THE EVENT OF DAMAGE TO ANY AREA OUTSIDE EXTENTS OF CONSTRUCTION OR TO BUILDING ELEMENTS WITHIN EXTENTS OF CONSTRUCTION, GC SHALL BE RESPONSIBLE TO RETURN DAMAGED AREAS TO ORIGINAL CONDITION WITHIN PERIOD OF CONSTRUCTION CONTRACT AT NO ADDITIONAL EXPENSE.	8) GC SHALL CONFIRM CLEAR OPENING REQUIRED FOR ANY EQUIPMENT, FIXTURES, OR MILLWORK PRIOR TO FRAMING & INSTALLATION.			03	3'-0"	7'-0"	2 PANEL	PUSH-PULL	AUTO-CLOSURE; WEATHERSTRIPPING FOR SOUND ATTENUATION	103	GREEN ROOM	CNC	CHR	WB	COV	
9) INSTALL SUITE & ROOM SIGNAGE TO COMPLY WITH ALL REQUIREMENTS OF NC ACCESSIBILITY CODE CHAPTER 18.	10) NEW WALLS SHALL BE 2x4 WOOD STUDS @ 16" O.C. W/ 3/8" GWB BOTH SIDES; NEW WALLS SHALL EXTEND TO 2'-1/2" AFF INCLUDING DBL TOP PLATE.			04	3'-0"	7'-0"	2 PANEL	PUSH-PULL	AUTO-CLOSURE; WEATHERSTRIPPING FOR SOUND ATTENUATION	104	EVENTS HALL	CNC	BRK	-	EXP	WOOD BASE NEW WALLS ONLY
				05	3'-0"	7'-0"	2 PANEL	STORAGE		105	MEN'S ROOM	EPX	GER/CHR	WB	COV	
				06	3'-0"	7'-0"	2 PANEL	OFFICE	WEATHERSTRIPPING FOR SOUND ATTENUATION	106	WOMEN'S ROOM	EPX	GER/CHR	WB	COV	
				07	3'-0"	7'-0"	2 PANEL	PUSH-PUSH	2-WAY SERVICE DOOR W/ AUTO-CLOSURE, DEADBOLT LOCK	107	HALL	CNC	CHR	WB	COV	
				08	3'-0"	7'-0"	2 PANEL	PUSH-PUSH	2-WAY SERVICE DOOR W/ AUTO-CLOSURE, DEADBOLT LOCK	108	STORAGE	CNC	PGB	WB	PGB	
				09	3'-0"	7'-0"	2 PANEL	STORAGE		109	CATERING KITCHEN	EPX	FRP	RB	PGB	
				10	3'-0"	7'-0"	2 PANEL	STORAGE		110	LOUNGE	CNC	CHR	WB	COV	
				11	3'-0"	7'-0"	2 PANEL	OFFICE	WEATHERSTRIPPING FOR SOUND ATTENUATION	111	STORAGE	CNC	PGB	WB	EXP	
				12	3'-0"	7'-0"	2 PANEL	OFFICE	WEATHERSTRIPPING FOR SOUND ATTENUATION	112	BACK LOBBY	CNC	BRK	-	EXP	WOOD BASE NEW WALLS ONLY
				13	3'-0"	7'-0"	2 PANEL	PRIVACY	WEATHERSTRIPPING FOR SOUND ATTENUATION	201	LOUNGE	GPT	BRK/PGB	WB	EXP	
				14	3'-0"	7'-0"	2 PANEL	STORAGE	WEATHERSTRIPPING FOR SOUND ATTENUATION	202	TOILET	GER	BRK/PGB	GER	EXP	MARBLE THRESHOLD
										203	STORAGE	PND	PND	-	EXP	NO WALL BASE REQ'D
DEMOLITION NOTES				DOOR NOTES				FINISH KEY				FINISH NOTES				
1) GC IS RESPONSIBLE TO ENSURE THAT THE DEMOLITION AREA IS MAINTAINED IN A CLEAN & SAFE CONDITION, AND THAT ALL DUST, DEBRIS, AND OTHER MATERIAL IS CONTAINED WITHIN THE EXTENTS OF CONSTRUCTION.	2) GC SHALL MAKE EVERY EFFORT TO RECYCLE BUILDING MATERIALS, COMPONENTS, & EQUIPMENT AS PRACTICABLE.	3) GC IS RESPONSIBLE FOR DISPOSAL OF ALL WASTE MATERIALS, INCLUDING TRANSPORTATION, FEES, ETC.; COORDINATE WASTE MANAGEMENT PLAN WITH OWNER PRIOR TO COMMENCEMENT OF DEMOLITION.	4) REMOVE ALL EXISTING UNUSED FIXTURES, PIPING, CONDUIT, METERS, ETC.	1) ALL NEW INTERIOR DOORS TO BE SOLID CORE 2-PANEL WOOD, STAIN TBD.	2) NEW DOOR LATCH HARDWARE SHALL BE STANDARD-DUTY LEVER HANDLE W/ OIL-RUBBED BRONZE FINISH ("TUSTIN" BY Kwikset OR EQUAL).	3) PROVIDE WALL BUMPER STOP AT EACH NEW SWINGING DOOR THAT DOES NOT INCLUDE AUTO CLOSURE.	4) "STORAGE" LOCKSET SHALL BE CYLINDER TYPE W/ KEYED EXTERIOR OPERATION ONLY.	5) "OFFICE" LOCKSET SHALL BE CYLINDER TYPE W/ KEYED EXTERIOR AND INTERIOR PUSH BUTTON LATCH.	6) "PUSH-PULL" HARDWARE TO INCLUDE BRUSHED SS PUSH PLATE & FULL HANDLE W/ AUTO CLOSURE- NO LATCH.	7) "PUSH-PUSH" HARDWARE TO INCLUDE BRUSHED SS PUSH PLATES & KICK PLATES BOTH SIDES W/ AUTO CLOSURE- NO LATCH; PROVIDE DEADBOLT LOCKSET.	8) "PRIVACY" LOCKSET SHALL BE CYLINDER TYPE W/ INTERIOR PUSH BUTTON LATCH ONLY.	9) CONFIRM CEILING HEIGHT AT MEZZANINE PRIOR TO PURCHASE OF DOORS #13 & #14.	CNC	SEALED CONCRETE FLOOR	1) ALL NEW FINISHES SHALL BE SELECTED BY OWNER & ARCHITECT FROM FULL RANGE OF MANUFACTURER'S COLOR & FINISH OPTIONS	
													EPX	EPOXY COATING WITH NON-SLIP SURFACE	2) PREPARE ALL SURFACES TO BE PAINTED; FILL NAIL HOLES, DENTS, DINGS, ETC; REMOVE WELTS, RIDGES, ETC; SAND SMOOTH TO LEVEL 4 FINISH	
													GER	MOSAIC CERAMIC TILE- TYPE & PATTERN TBD	3) PAINT: (1) COAT PRIMER AND (2) FINISH COATS MIN; USE LATEX EGGSHELL ON WALLS, SEMI-GLOSS ON DOORS, WOOD TRIM ETC.	
													PND	3/4" T&G PLYWOOD SUBFLOOR- NO PAINT	4) ALL PAINT STAIN, VARNISH, ADHESIVES, ETC. SHALL BE LOW VOC-TYPE	
													WALL FINISH	PGB	PAINTED GYPSUM BOARD	5) CONCRETE FLOORING: REPAIR, GRIND, DENSIFY, HONE & POLISH EXISTING CONCRETE SLAB. ARCHITECT SHALL ARRANGE PRE-CONSTRUCTION MEETING ON SITE WITH OWNER, GC, AND CONCRETE FLOOR RESTORATION SPECIALIST PRIOR TO SELECTION OF CONCRETE FINISHING SUBCONTRACTOR IN ORDER TO DEFINE REQUIRED SCOPE OF WORK.
													CHR	PAINTED GYPSUM BOARD W/ CHAIR RAIL	6) BATHROOM COUNTERTOPS SHALL BE LEVEL 1 GRANITE TO BE SELECTED BY OWNER & ARCHITECT.	
													BRK	SCRAPE, CLEAN, SEAL EXISTING BRICK SURFACES		
													GER	CERAMIC WALL TILE- TYPE & PATTERN TBD		
													FRP	FIBER REINFORCED PANELING, FULLY ADHERED		
													PND	1/2" PLYWOOD WALL PANELS- NO PAINT		
													WALL BASE	FTD	1x4 WOOD BASE TRIM	
													WB	CERAMIC COVE BASE		
													RB	4" RUBBER BASE		
													CEILING FINISH	PGB	PAINTED GYPSUM BOARD	
													COV	PAINTED GYPSUM BOARD, COVE TRIM		
													EXP	EXPOSED CEILING- PAINT STRUCTURE		

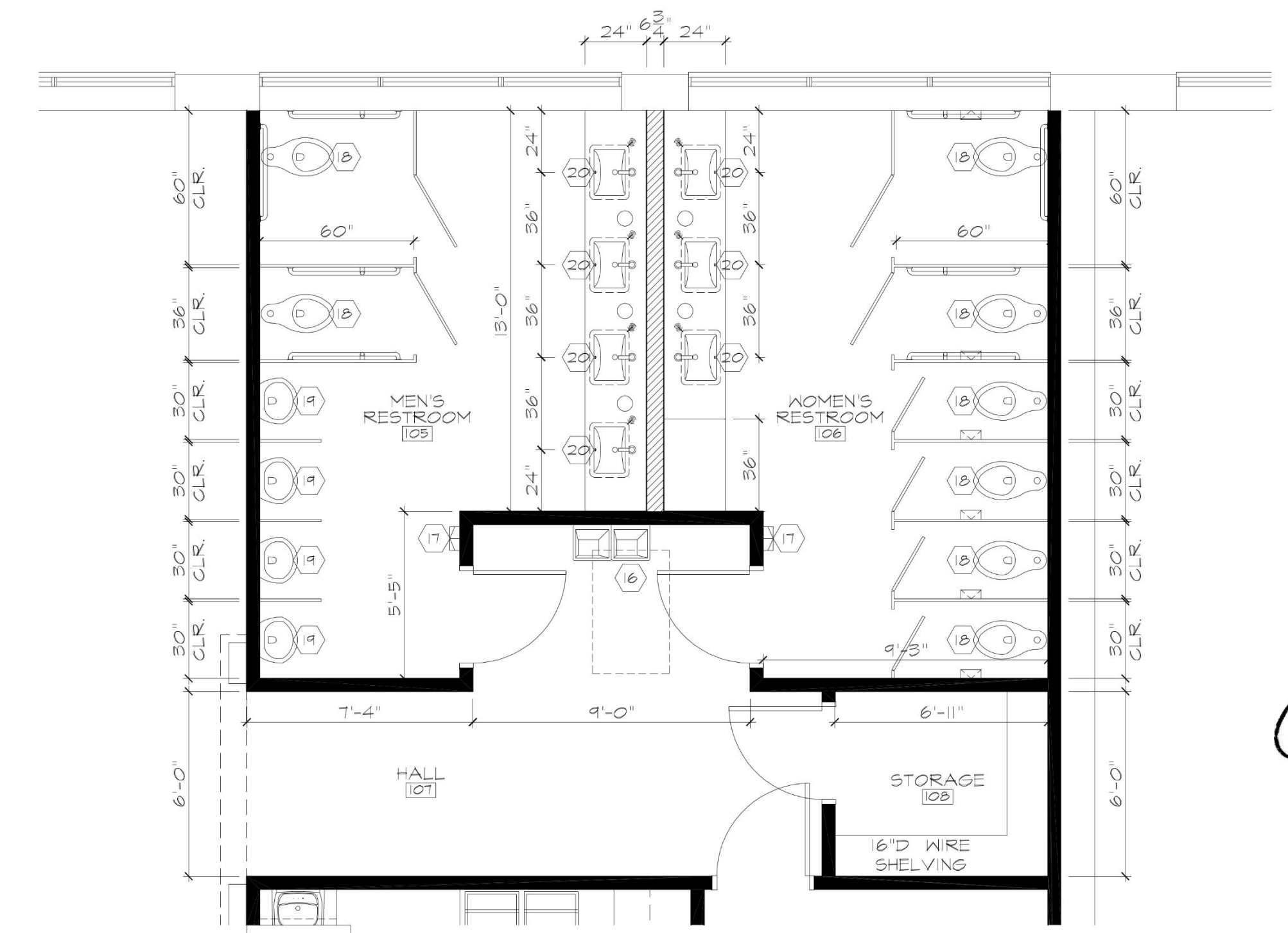


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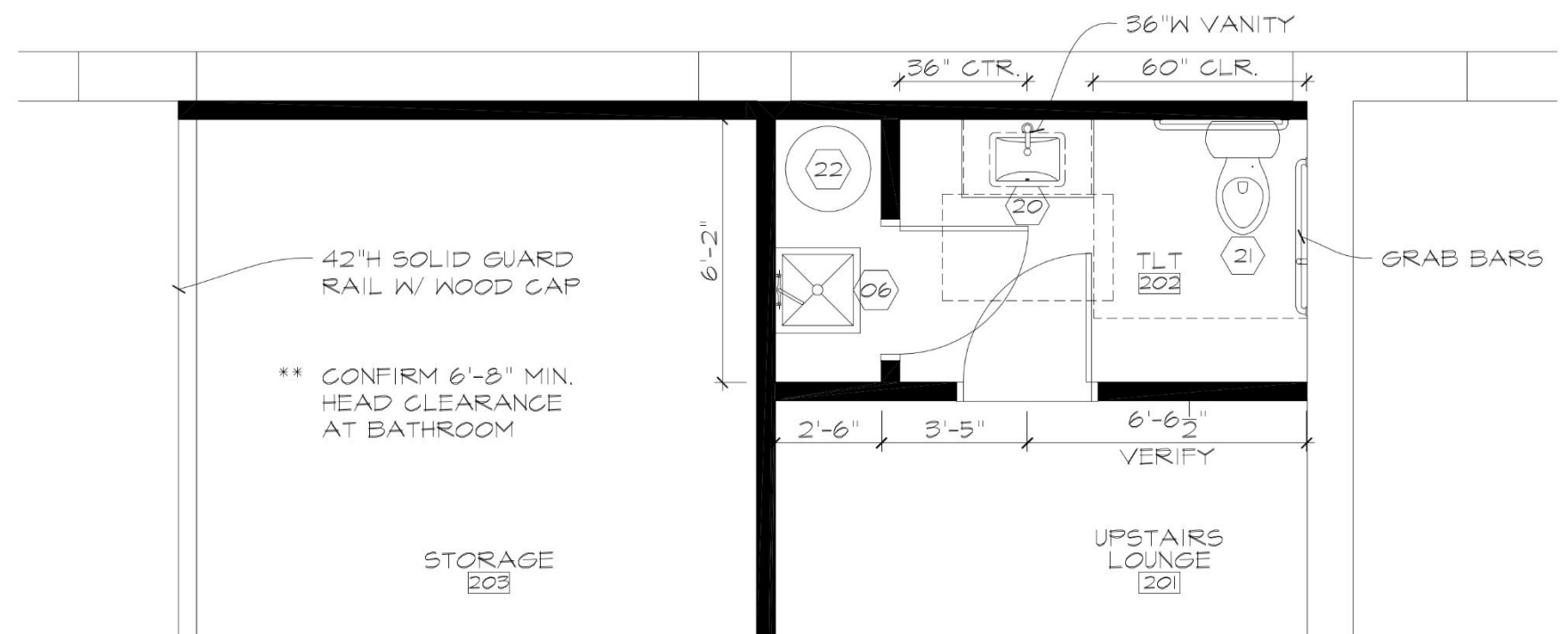
- FIXTURES & EQUIPMENT**
- (01) WARMING/ HOLDING CABINET
 - (02) 4BX ICE MACHINE
 - (03) SINGLE DOOR REFRIGERATOR
 - (04) DISH MACHINE
 - (05) HAND SINK
 - (06) MOP SINK
 - (07) SOILED DISH TABLE
 - (08) MOBILE WORK TABLE 24" X 60"
 - (09) WORK TABLE 30" X 72"
 - (10) WALL SHELVING 16" X 12"
 - (11) CLEAN DISH TABLE
 - (12) BUN/ SHEET PAN RACK
 - (13) 2-BAY SINK
 - (14) GLASS RACK DOLLY
 - (15) WALL SHELVING 16" X 96"
 - (16) HI-LO WATER COOLER
 - (17) ELECTRIC HAND DRYER
 - (18) FV WATER CLOSET
 - (19) URINAL
 - (20) VANITY SINK
 - (21) TANK WATER CLOSET
 - (22) WATER HEATER



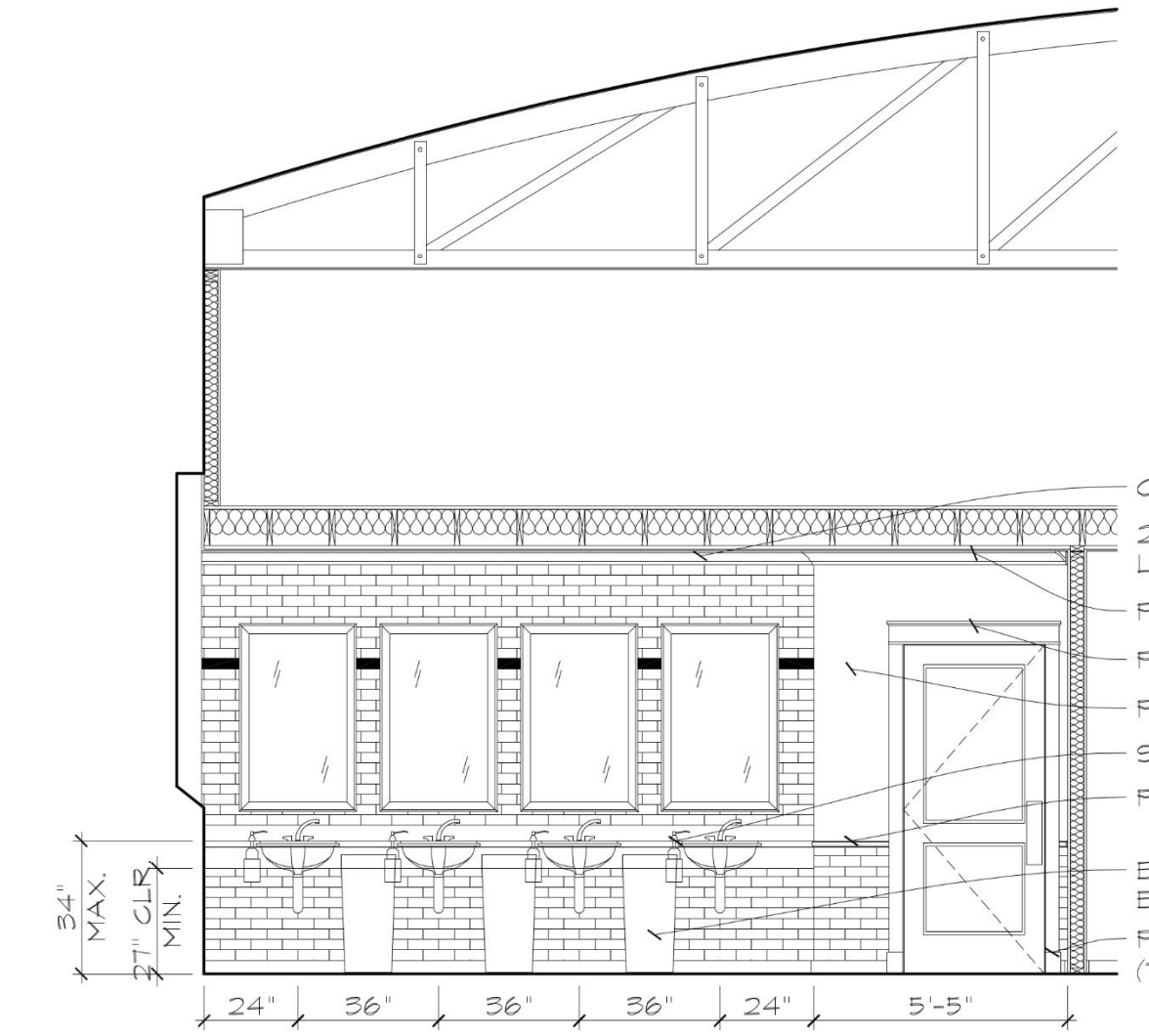
1 ENLARGED KITCHEN PLAN
 A-102 1/4" = 1'-0"



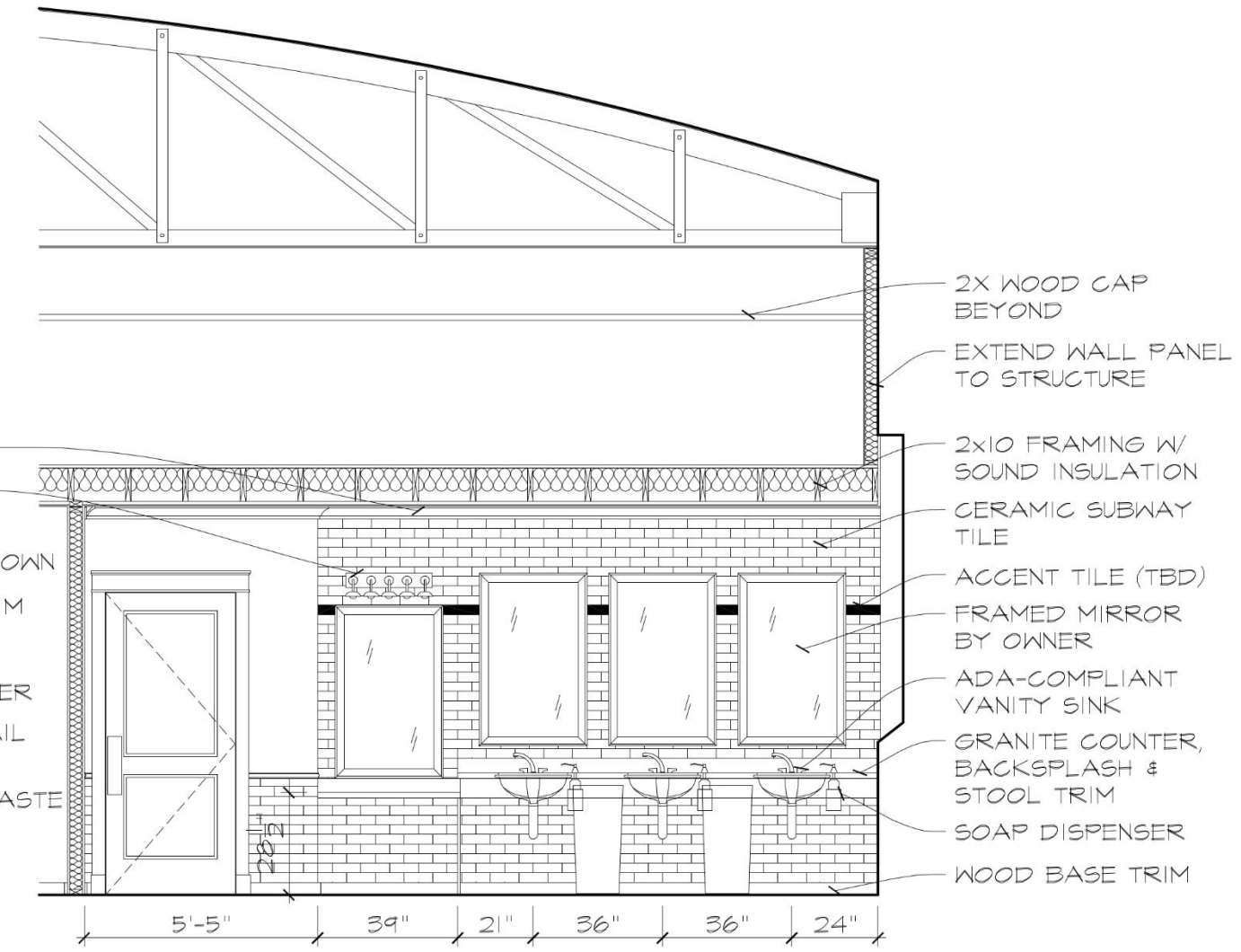
2 ENLARGED BATHROOM PLAN
 A-102 1/4" = 1'-0"



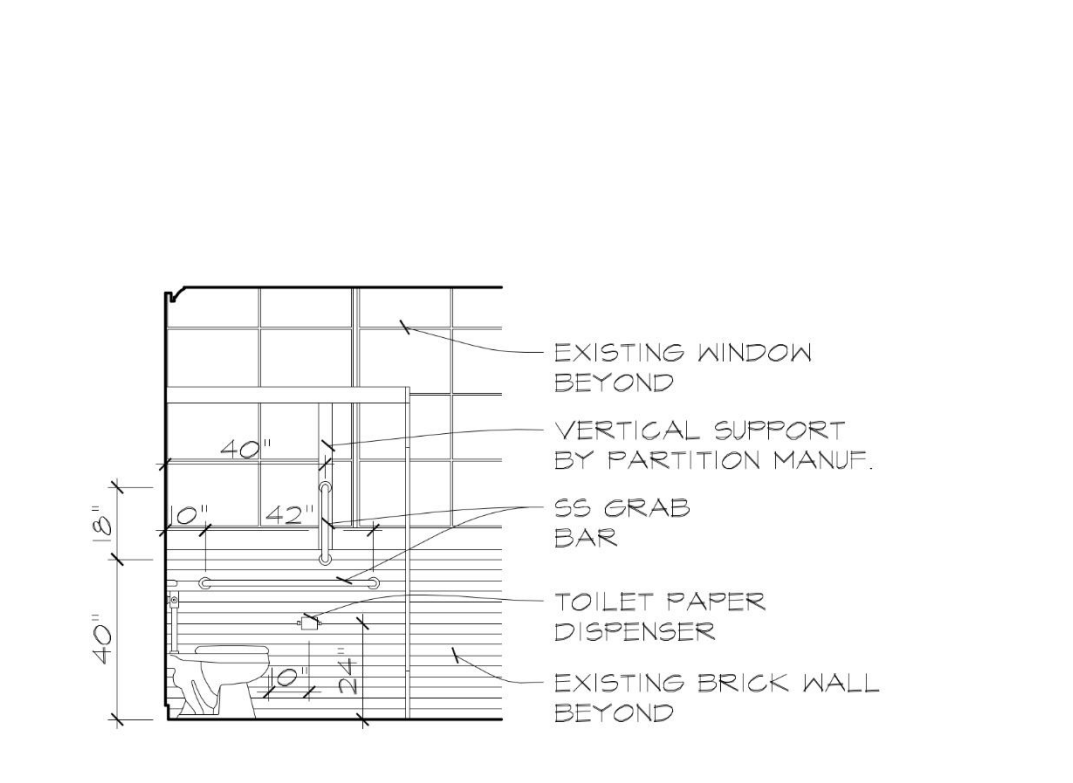
10 ENLARGED TOILET (202)
 A-102 1/4" = 1'-0"



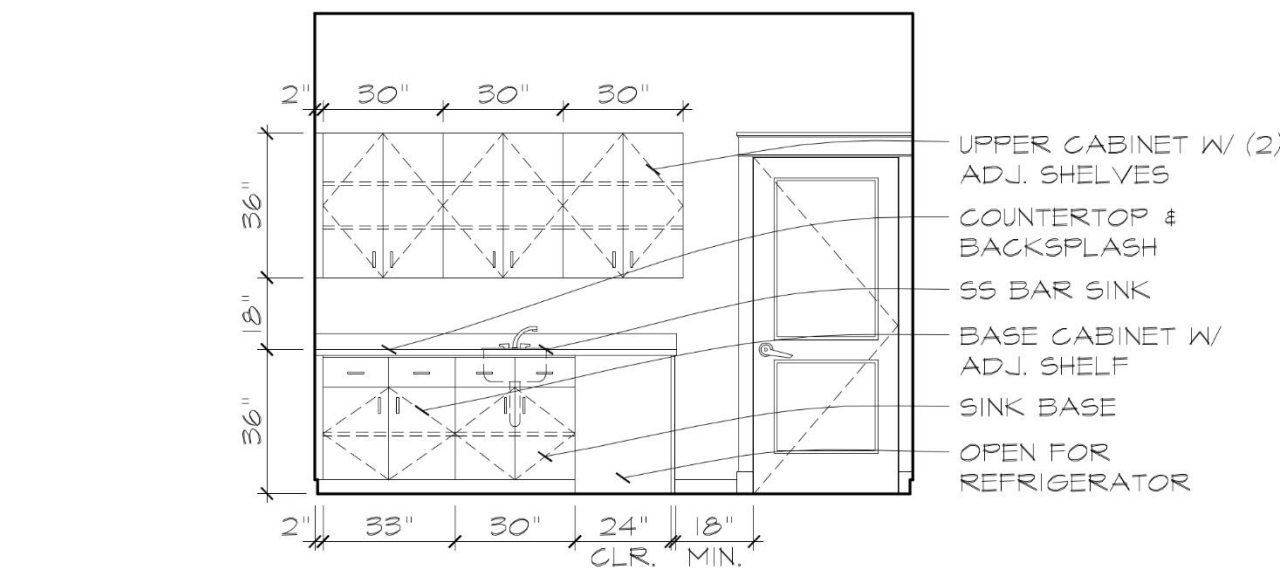
3 MEN'S ROOM (105)
 A-102 1/4" = 1'-0"



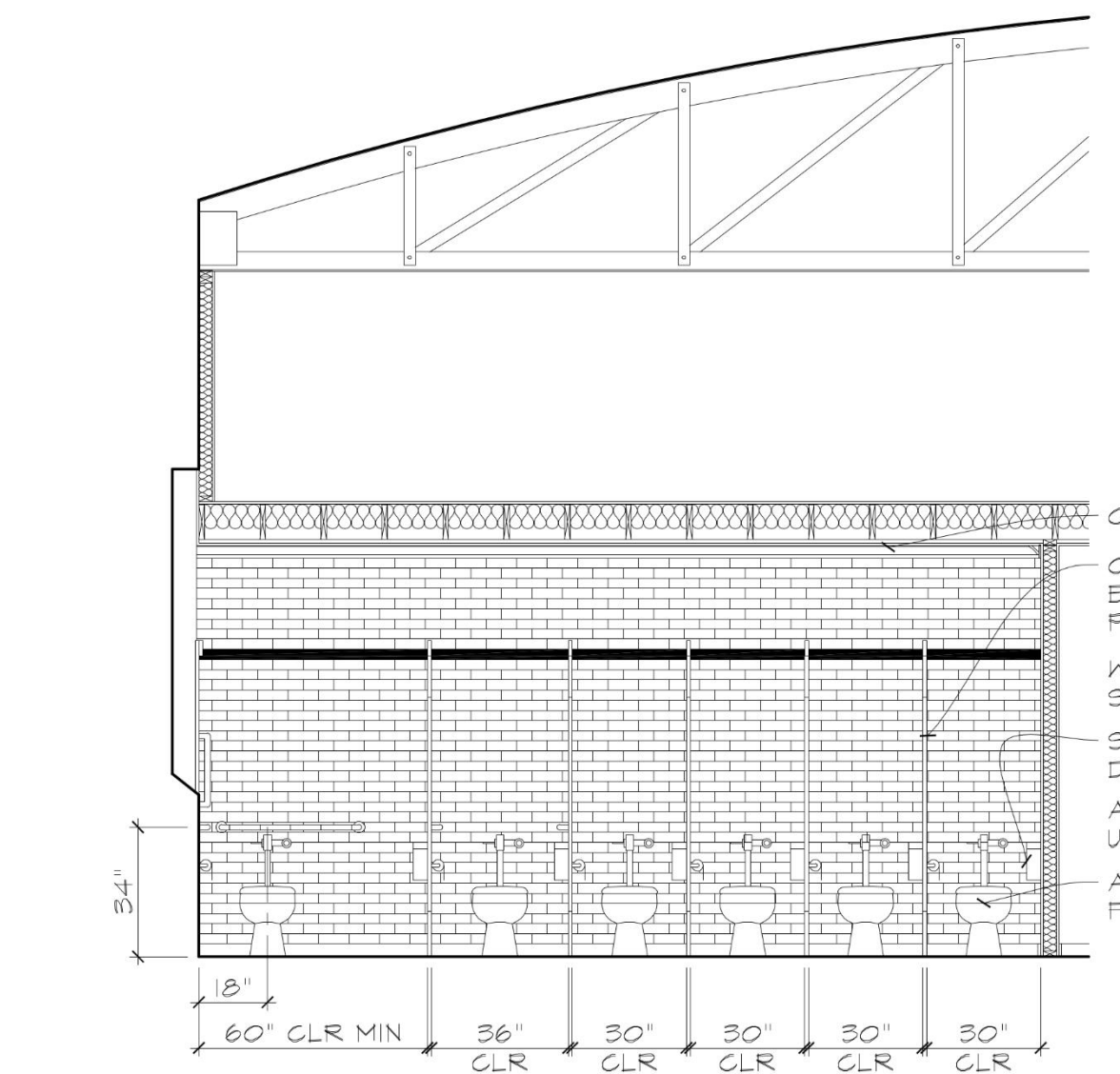
4 WOMEN'S ROOM (106)
 A-102 1/4" = 1'-0"



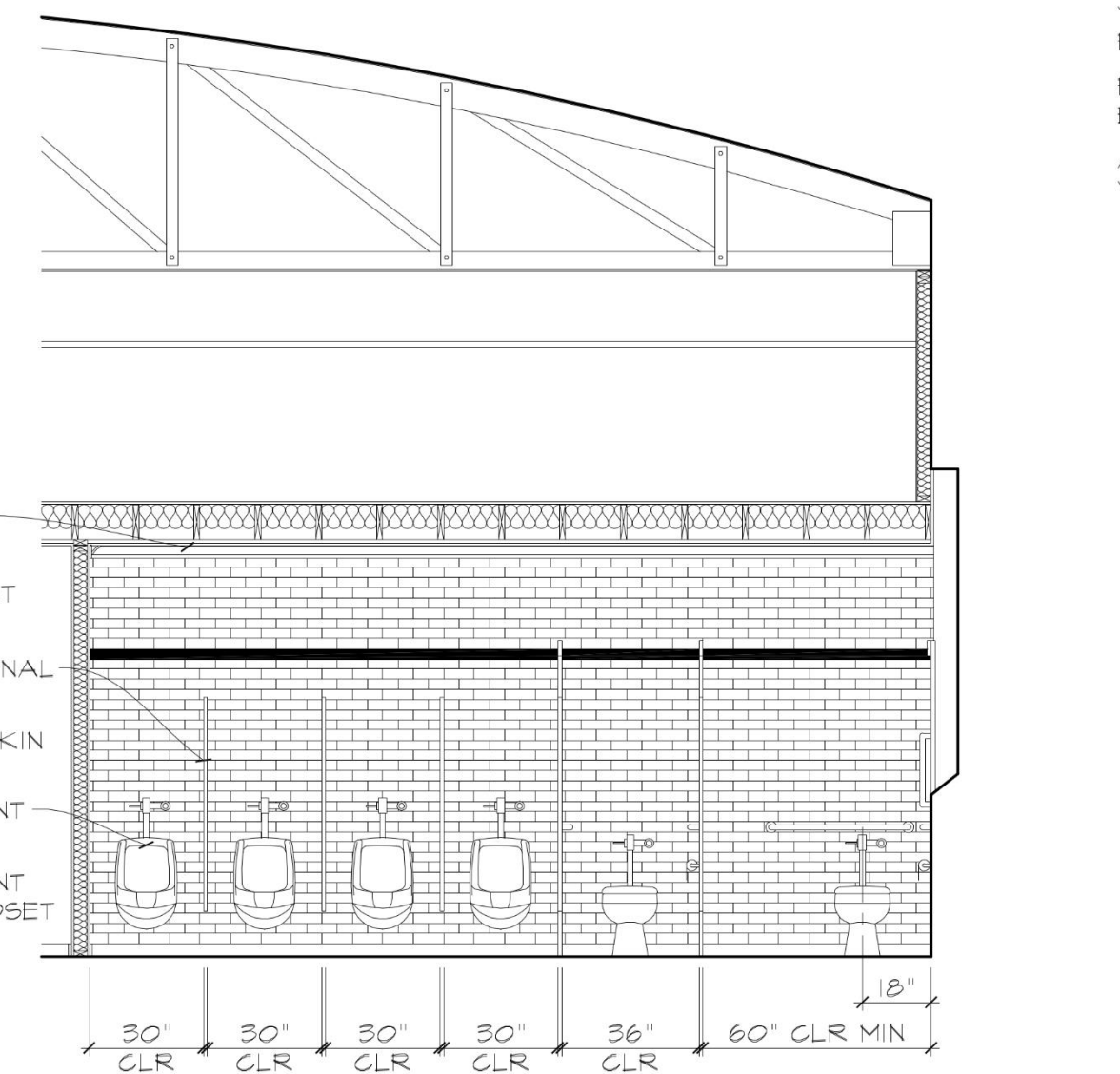
7 HC STALL (105) (RM 106 OPP. HAND)
 A-102 1/4" = 1'-0"



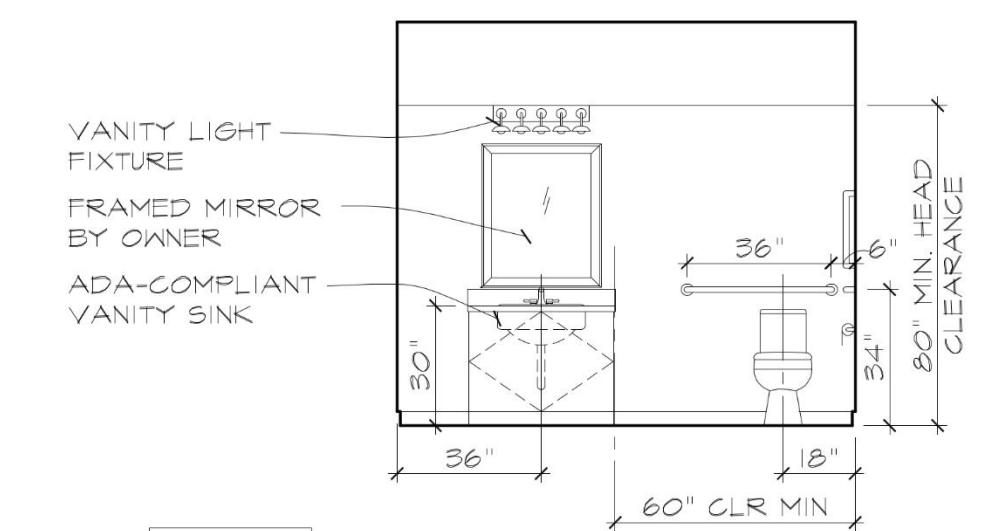
11 LOUNGE (201)
 A-102 1/4" = 1'-0"



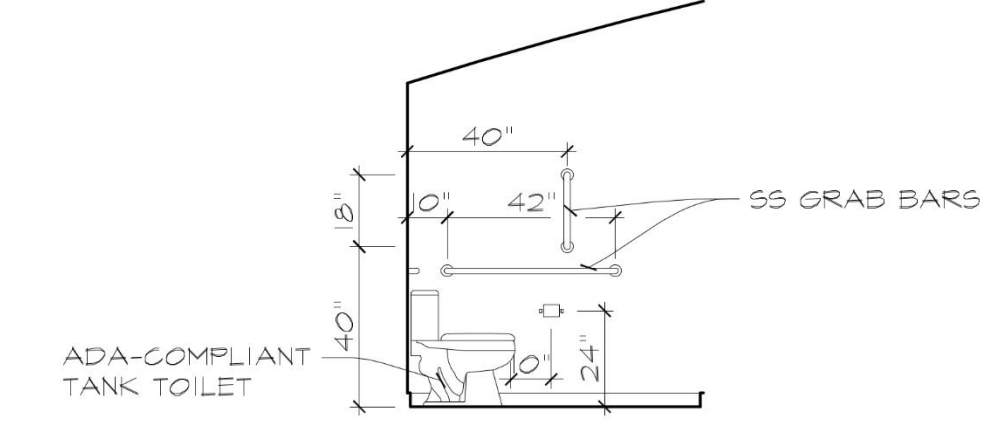
5 WOMEN'S ROOM (106)
 A-102 1/4" = 1'-0"



6 MEN'S ROOM (105)
 A-102 1/4" = 1'-0"



8 TOILET (202)
 A-102 1/4" = 1'-0"



9 TOILET (202)
 A-102 1/4" = 1'-0"

prepared for
PERMIT SET
 project name
HUTCHINS EVENTS HALL
 406 WEST GEER STREET
 DURHAM, NC 27701
 project number
 201912-HEH
 drawing title
**ENLARGED PLANS
 INTERIOR ELEVATIONS**

drawing scale
 orientation
 revision history

Issue/Revision	PROGRESS SET
11/20/2019	PROGRESS SET
12/04/2019	PERMIT SET
01/08/2020	OWNER VE CHANGES
09/08/2022	REVISED FOR PERMIT

Mark	Date	Description
Issue/Revision		
CAD File Name		
Drawn By		
Checked By		
Plot Date:		
Reviewed by		
Designed by		
Submitted By		
Drawing Code		

issue date
 09/08/2022
 sheet index

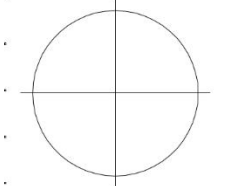


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prepared for
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 project name
**HUTCHINS
 EVENTS HALL**
 406 WEST GEER STREET
 DURHAM, NC 27701
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 201912-HEH
 drawing title

**STAIR SECTION
 INTERIOR ELEVATIONS
 DETAILS**
 drawing scale

orientation



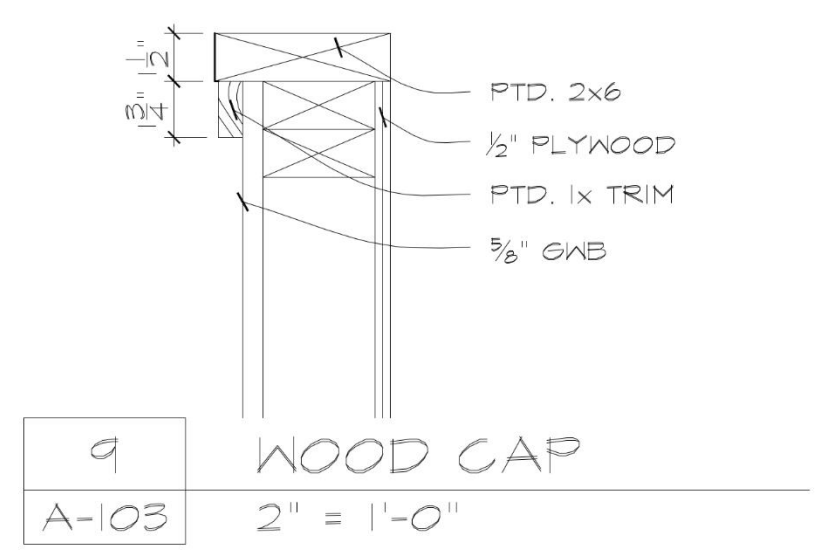
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12/04/2019	PERMIT SET	
01/08/2020	OWNER VE CHANGES	
09/08/2022	REVISED FOR PERMIT	

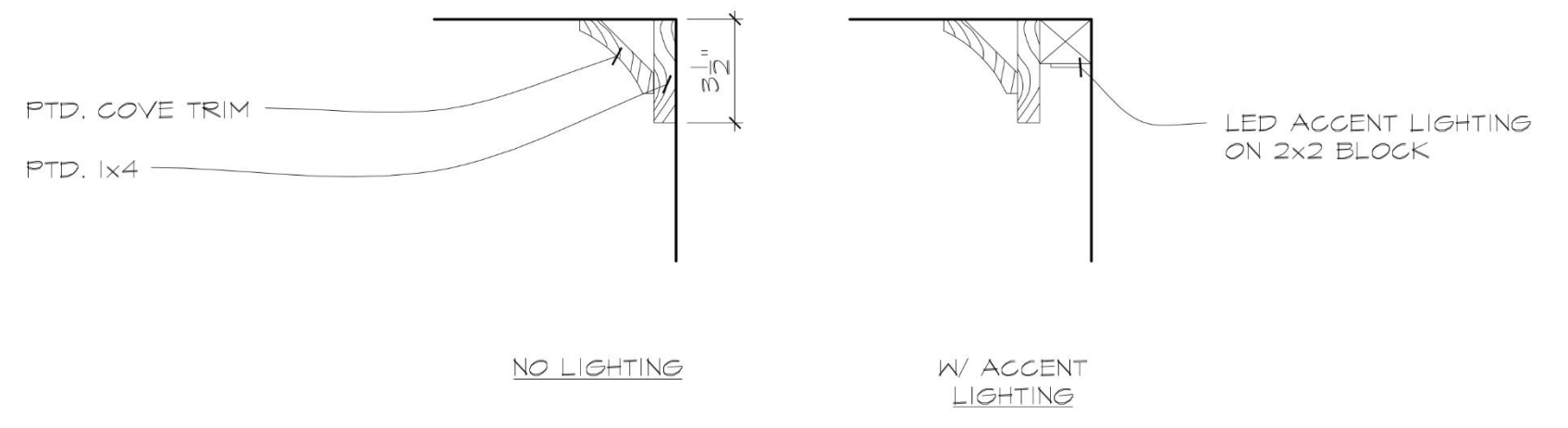
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Issue/Revision		
CAD File Name		
Drawn By		
Checked By		
Plot Date:		
Reviewed by		
Designed by		
Submitted By		
Drawing Code		

issue date
 09/08/2022
 sheet index

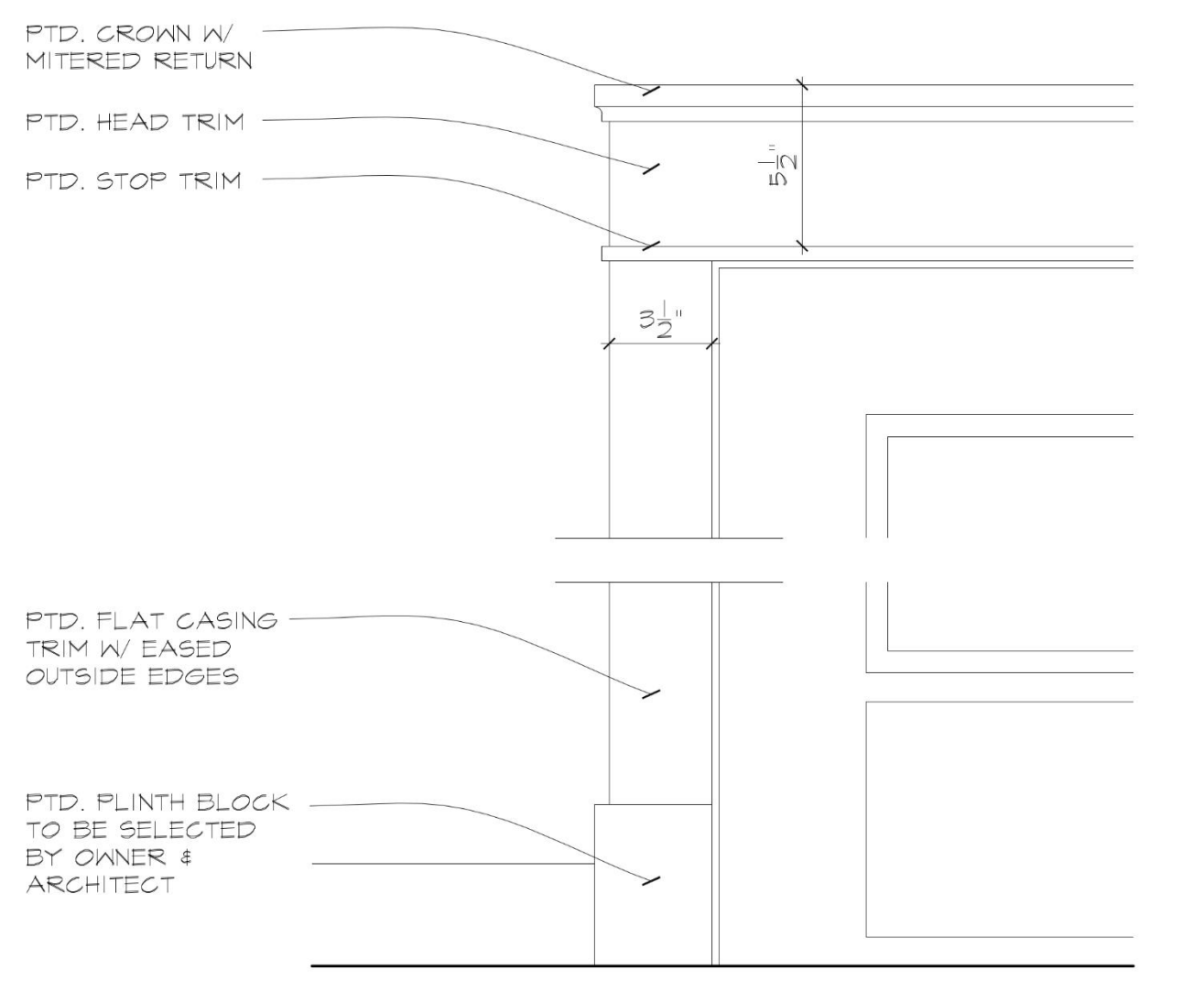
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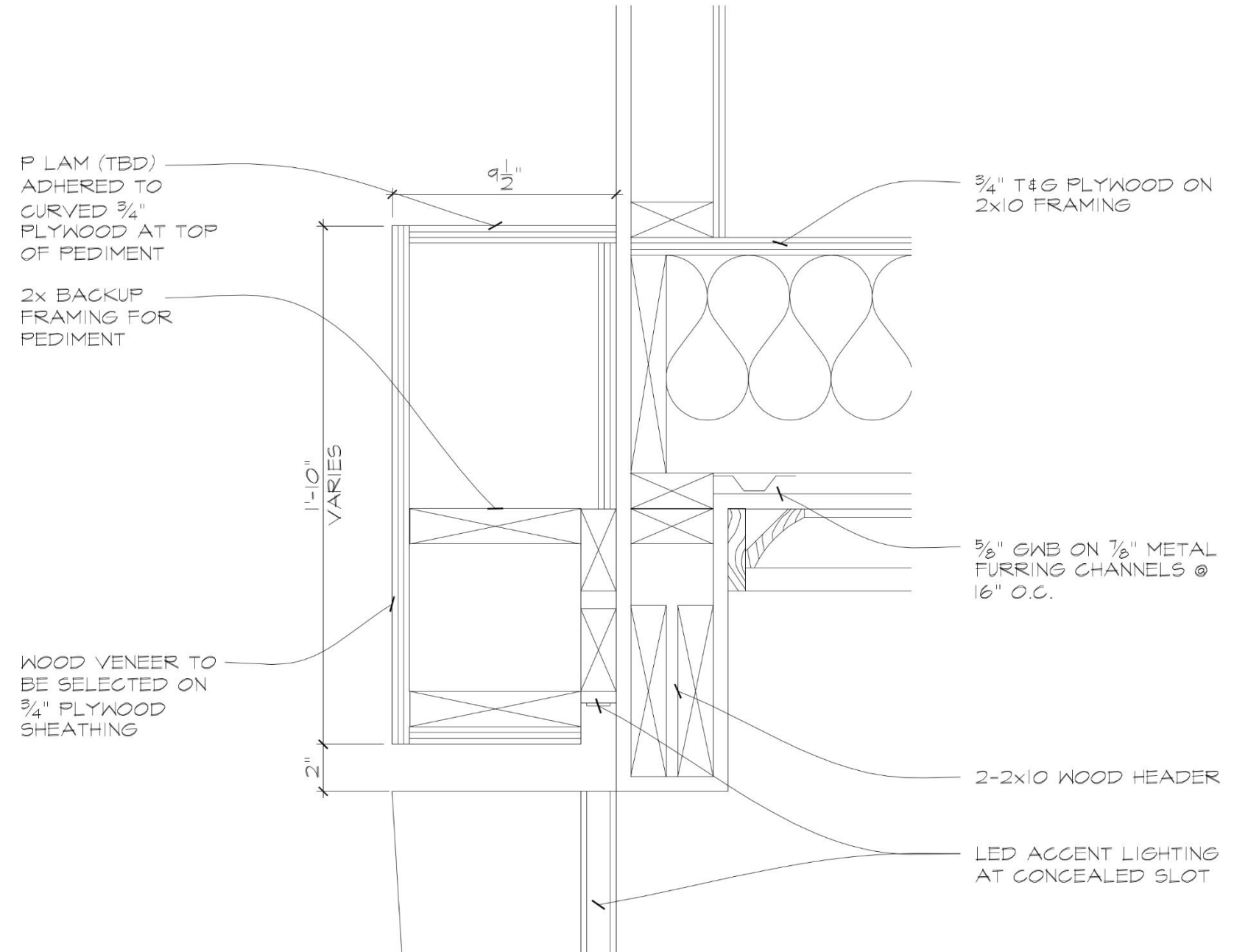
9 WOOD CAP
 A-103 2" = 1'-0"



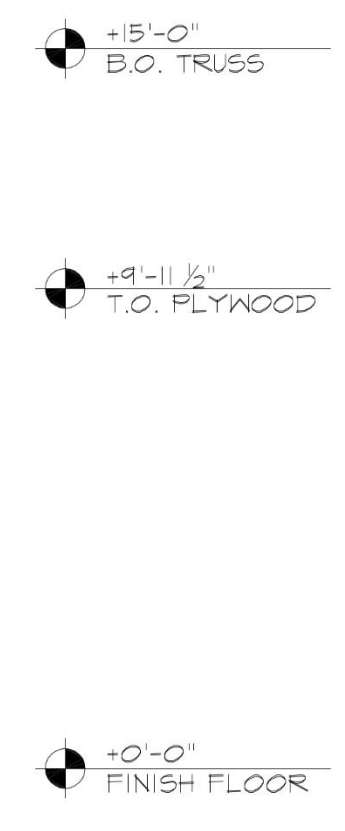
8 CROWN TRIM
 A-103 2" = 1'-0"



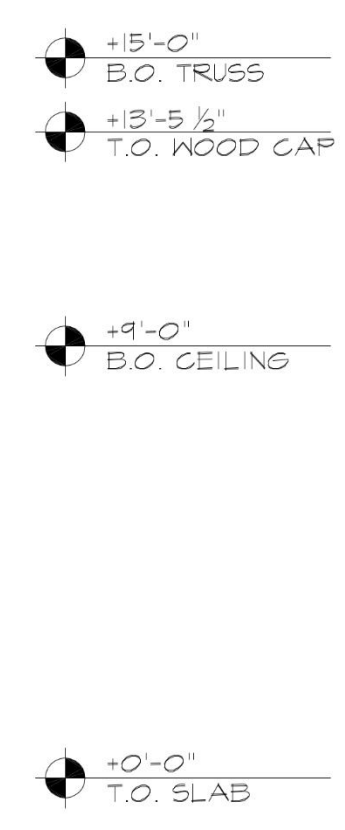
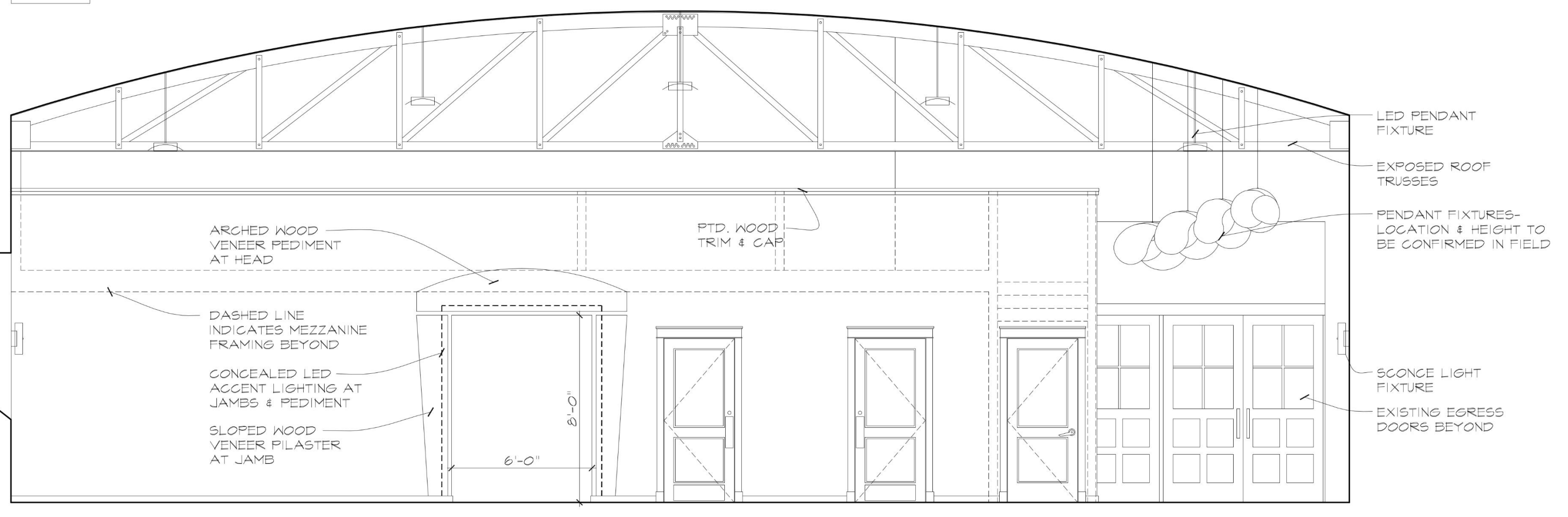
7 DOOR TRIM
 A-103 2" = 1'-0"



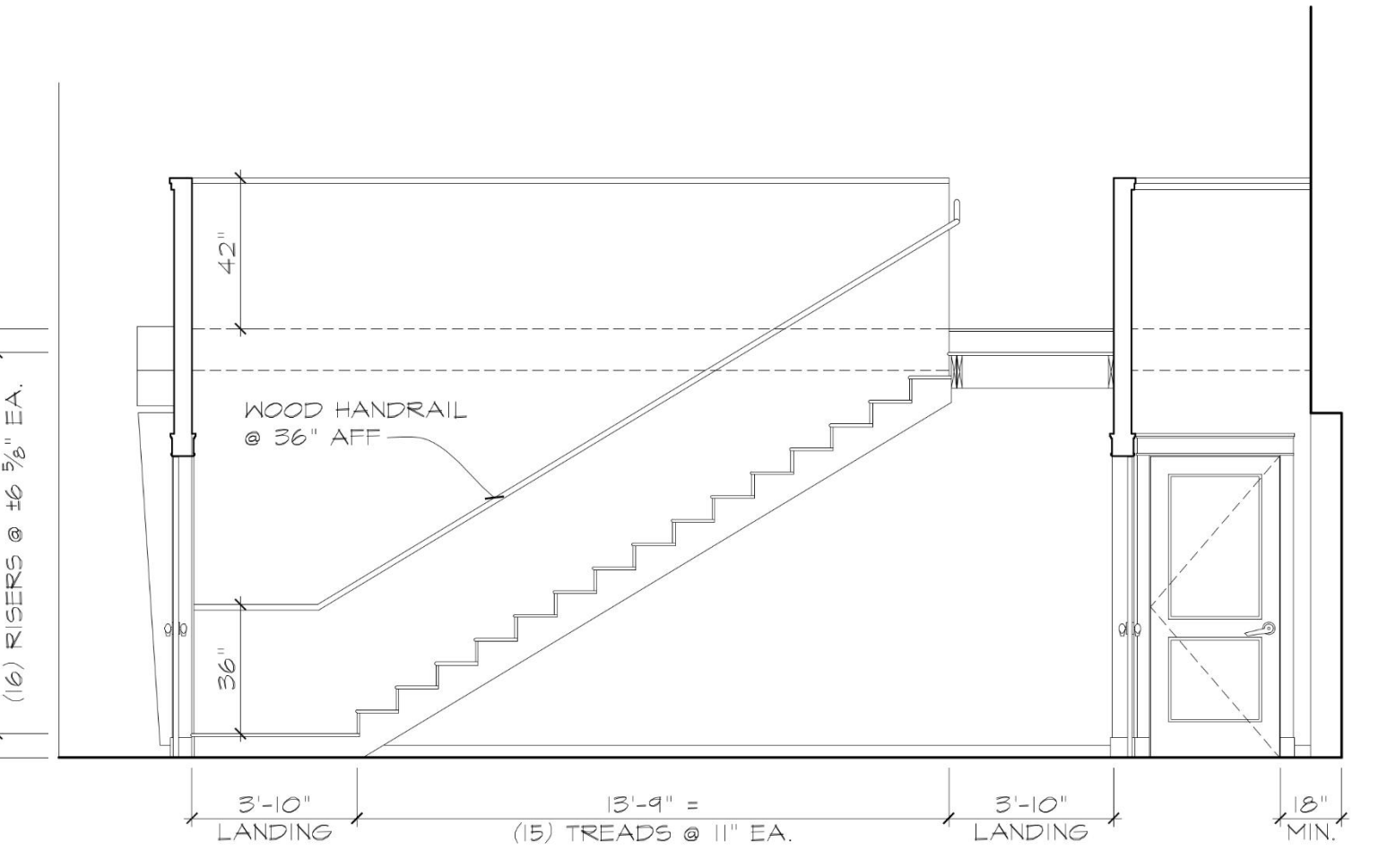
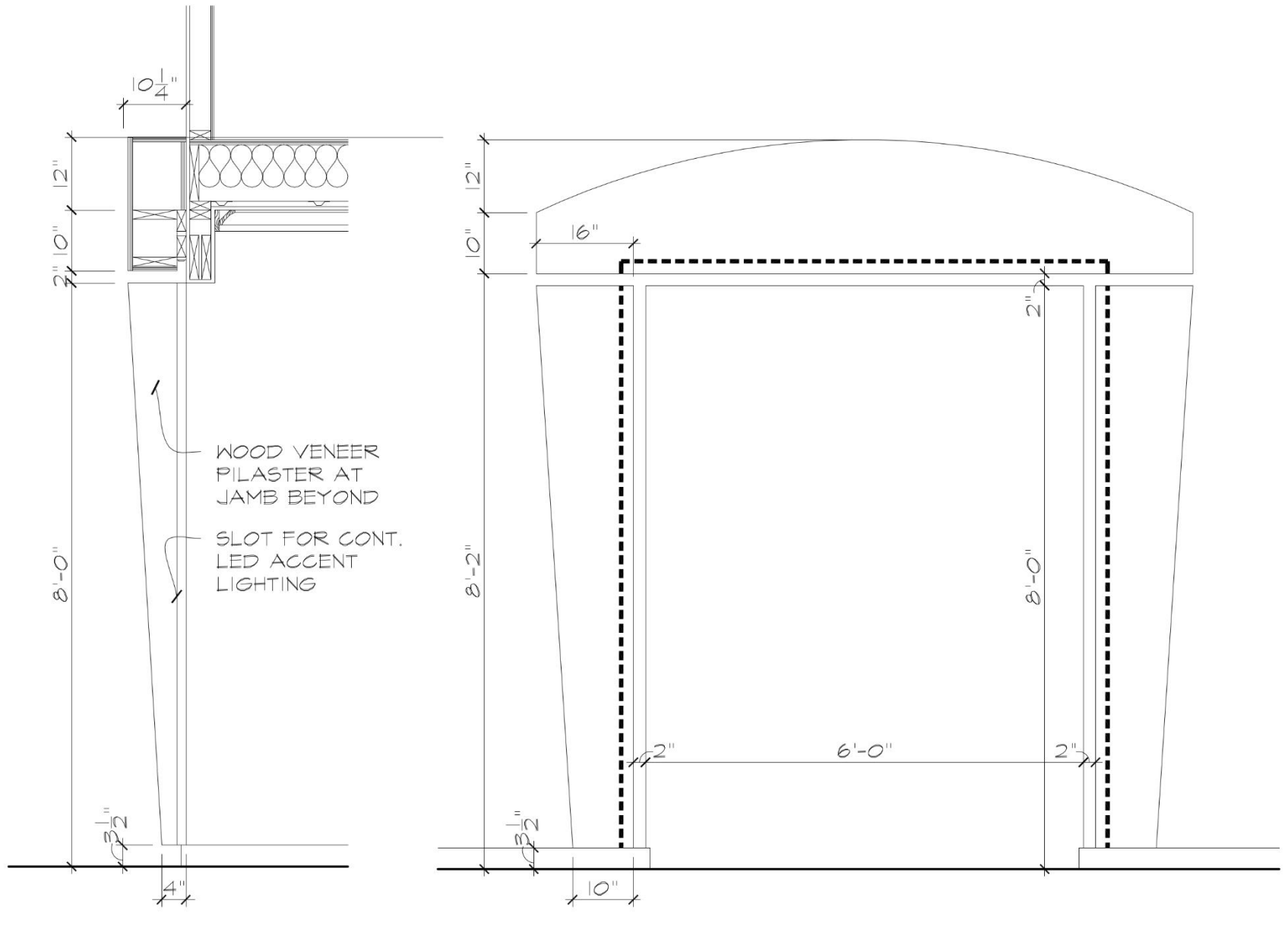
6 SECTION DETAIL
 A-103 2" = 1'-0"



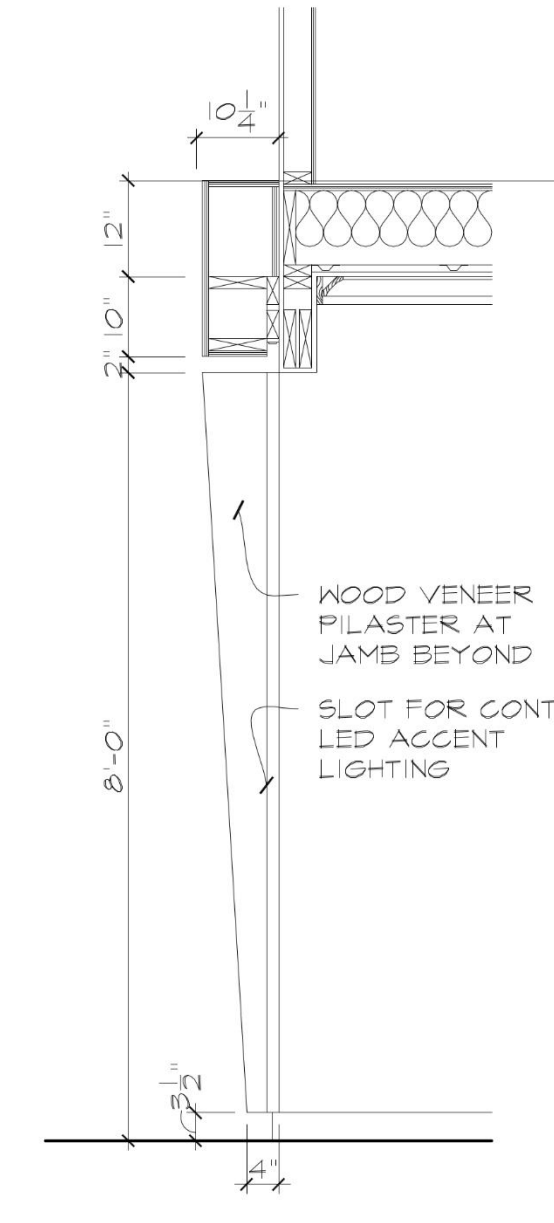
1 S-N SECTION (FACING STAGE)
 A-103 1/4" = 1'-0"



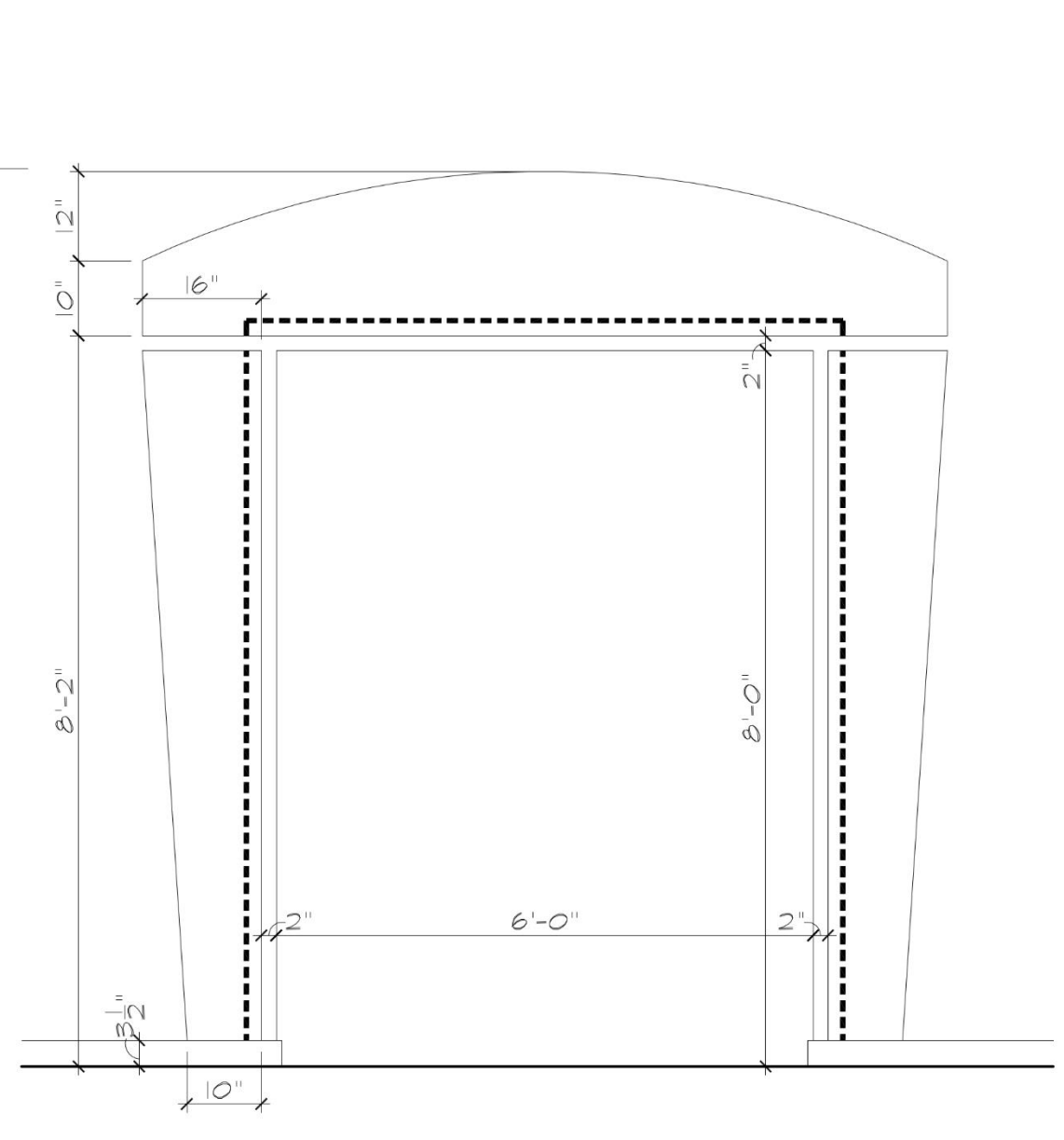
2 N-S SECTION (FACING BATHROOMS)
 A-103 1/4" = 1'-0"



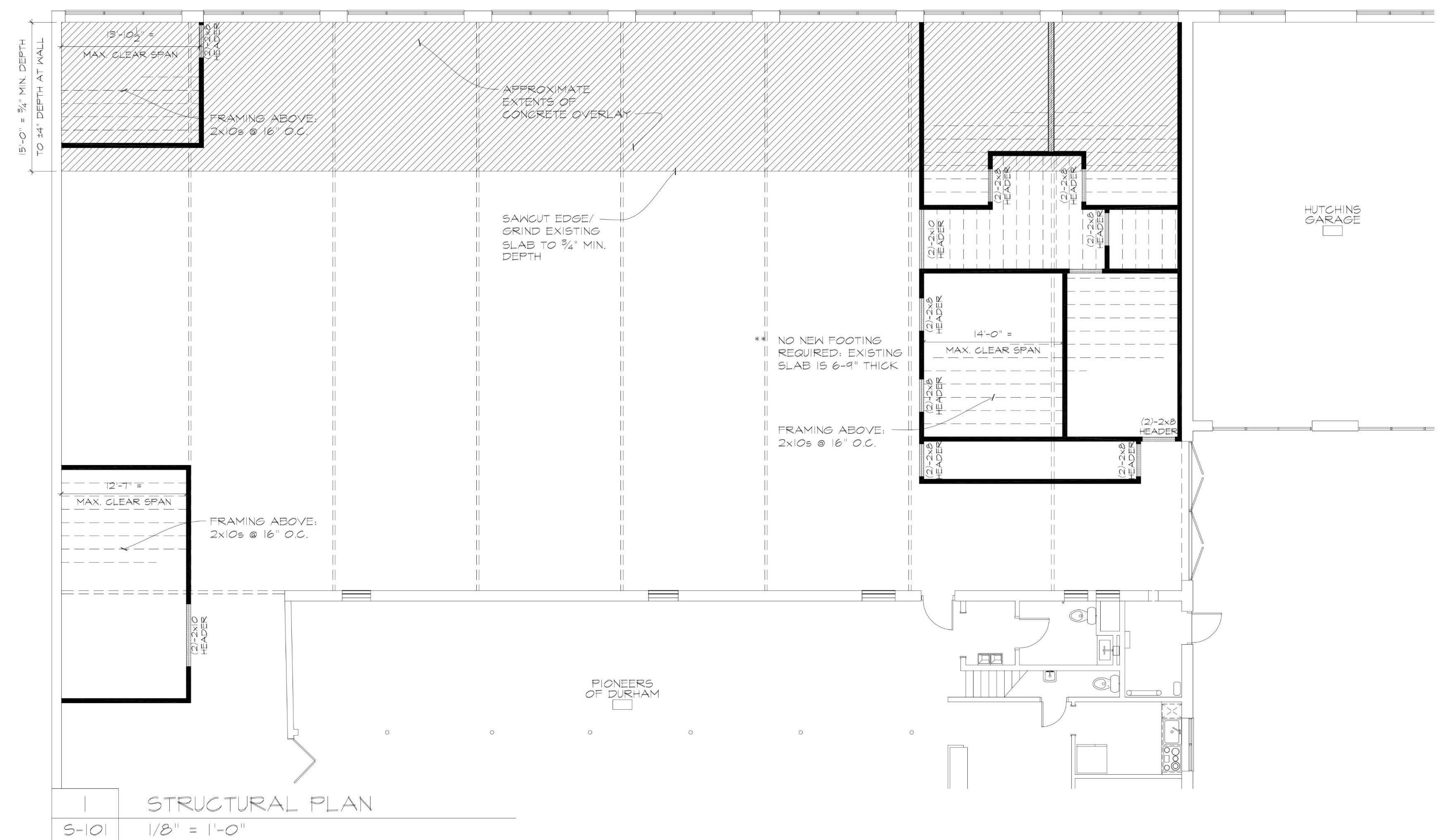
3 STAIR SECTION
 A-103 1/4" = 1'-0"



5 SECTION
 A-103 1/2" = 1'-0"



4 ELEVATION
 A-103 1/2" = 1'-0"



prepared for

PERMIT SET

project name

HUTCHINS EVENTS HALL

406 WEST GEER STREET
DURHAM, NC 27701

project number

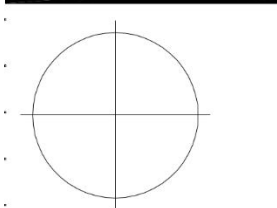
201912-HEH

drawing title

STRUCTURAL PLAN
STRUCTURAL DETAILS

drawing scale

orientation



revision history

11/20/2019	PROGRESS SET
12/04/2019	PERMIT SET
01/08/2020	OWNER VE CHANGES
09/08/2022	REVISED FOR PERMIT

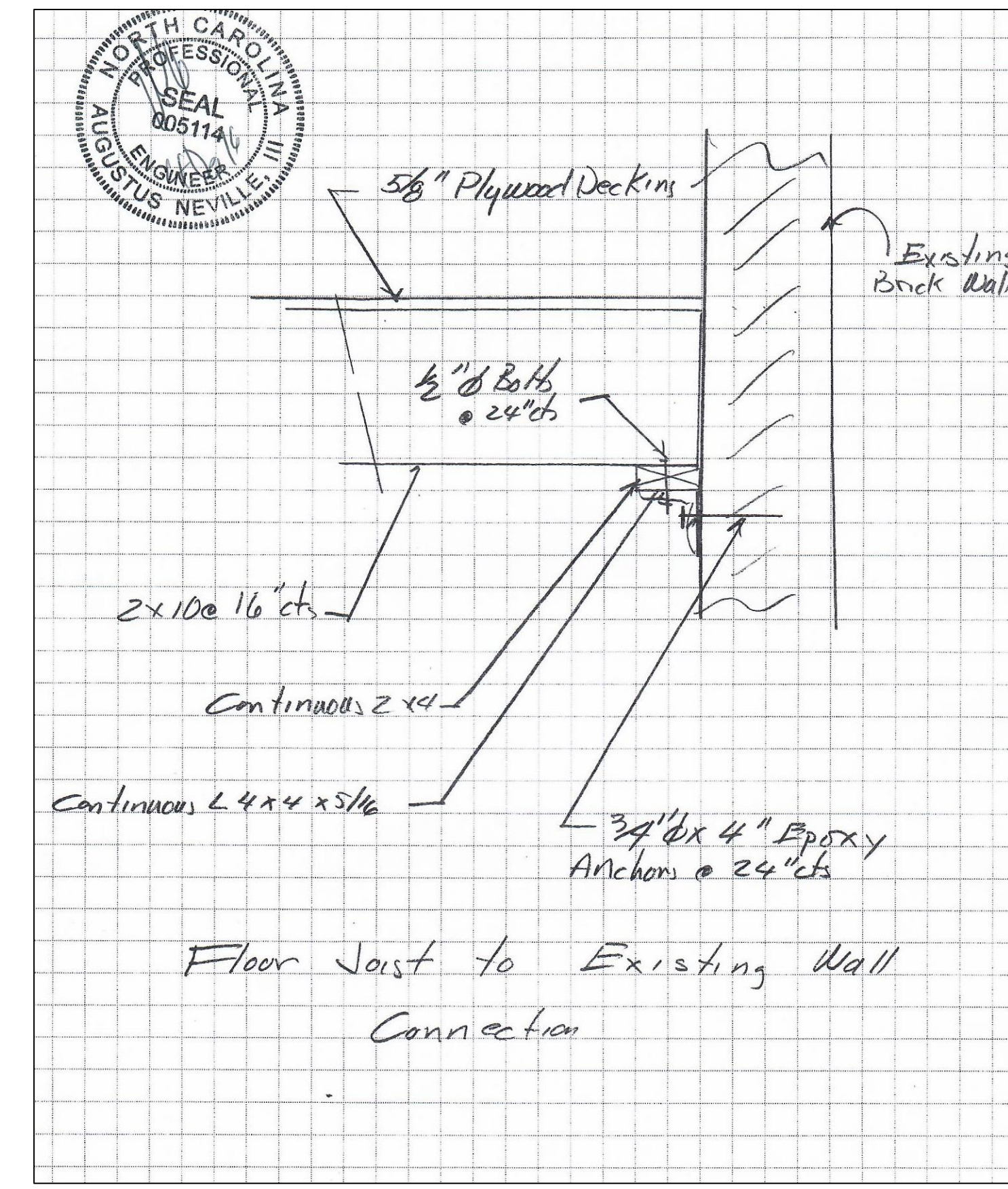
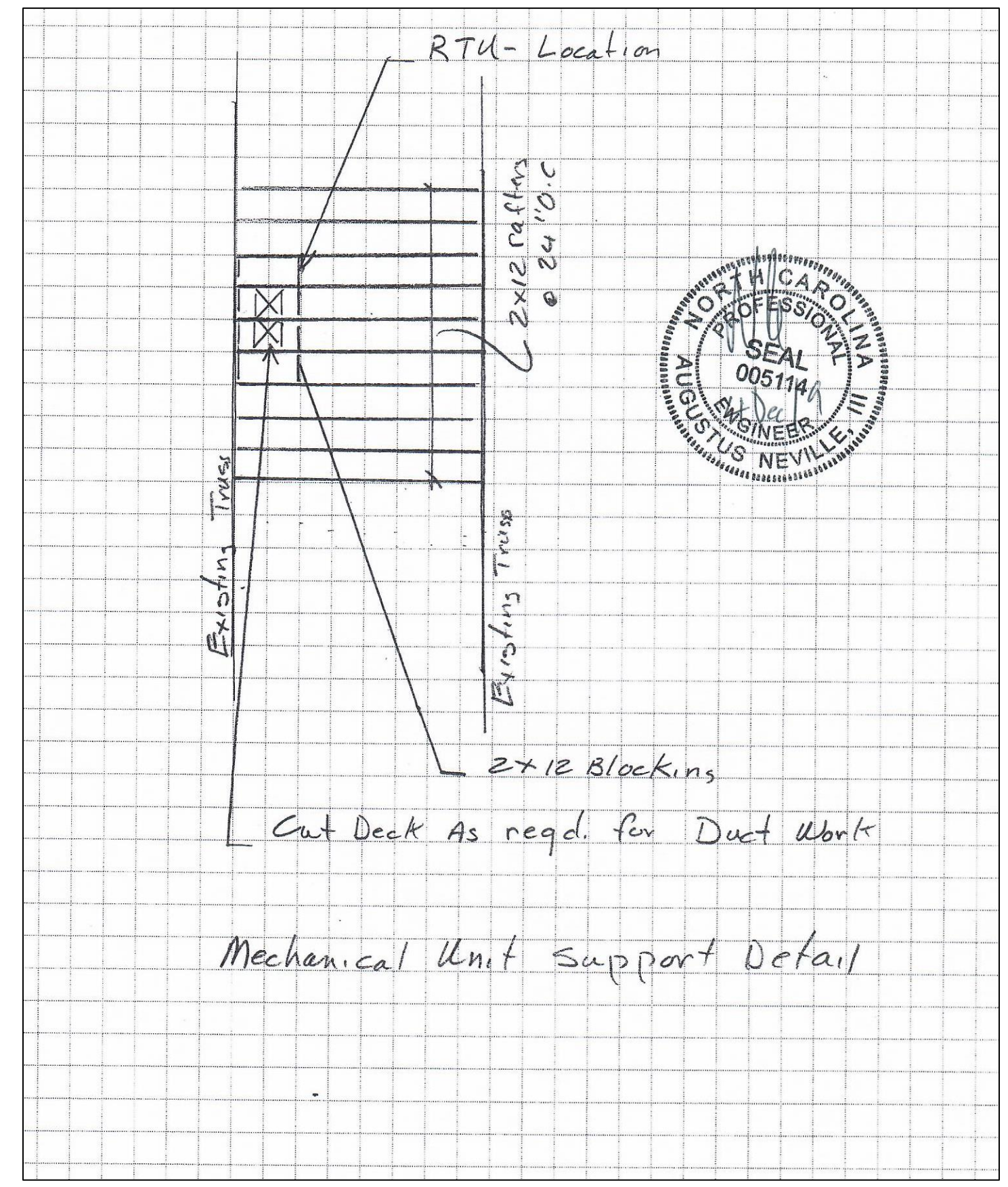
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Issue/Revision		
CAD File Name		
Drawn By		
Checked By		
Plot Date:		
Reviewed by		
Designed by		
Submitted By		
Drawing Code		

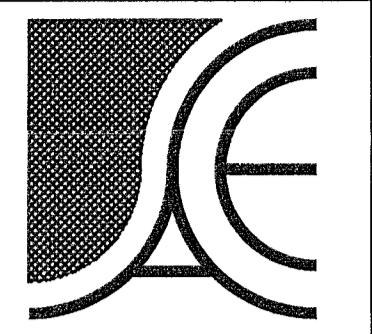
issue date

09/08/2022

sheet index

S 101

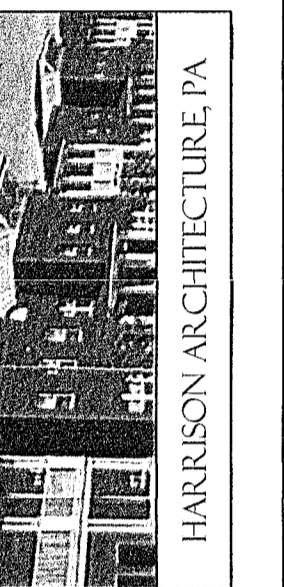




Alamance Consulting Engineers

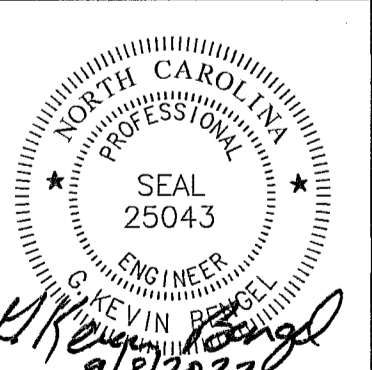
961-F Burlington Ave.
Gibsonville, N.C. 27249
Phone: (336) 449-4558
www.ace-nc.net
N.C. Firm License Number C-2071

905-A West Geer Street
Durham, NC 27704
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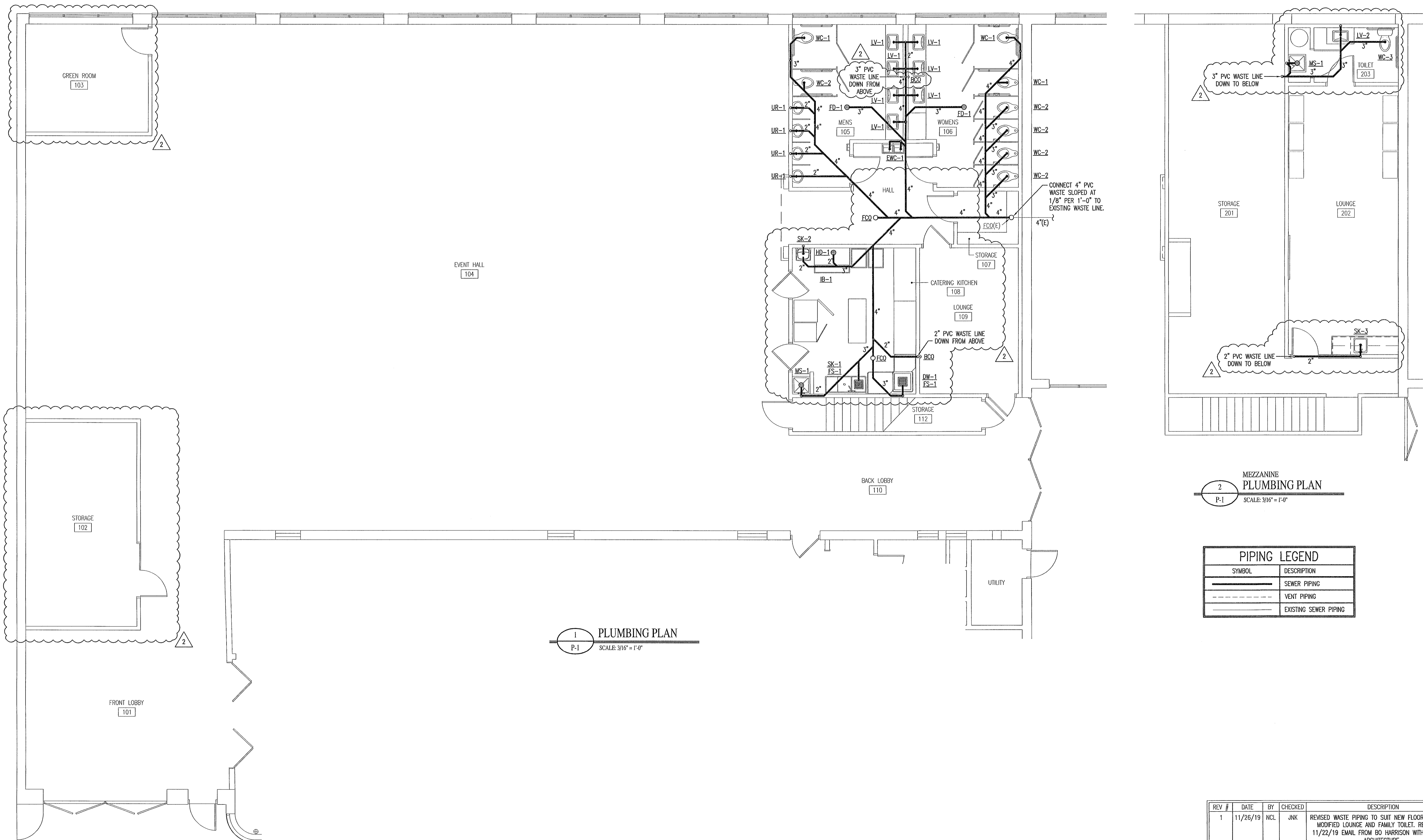
BUILDING RENOVATION FOR:
HUTCHINS EVENTS HALL
406 W. Geer Street
Durham, North Carolina

DRAWING NAME:
PLUMBING PLAN



DRAWN: NCL
CHECKED: JNK
DATE: 11/26/19
SCALE: AS NOTED
JOB NO.: 19070
SHEET

P-1

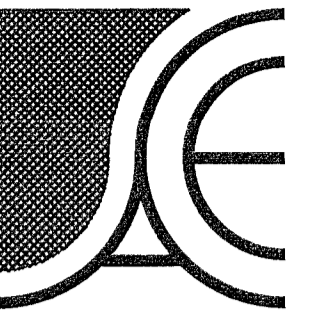


MEZZANINE
PLUMBING PLAN
SCALE: 3/16" = 1'-0"

PIPING LEGEND	
SYMBOL	DESCRIPTION
	SEWER PIPING
	VENT PIPING
	EXISTING SEWER PIPING

PLUMBING PLAN
SCALE: 3/16" = 1'-0"

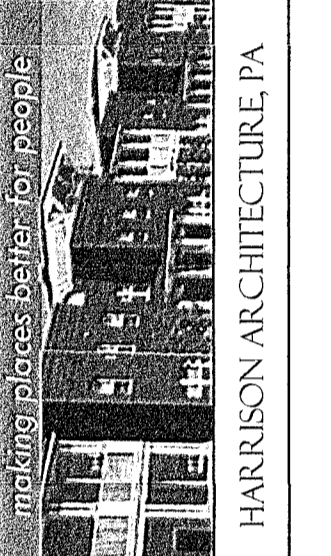
REV #	DATE	BY	CHECKED	DESCRIPTION
1	11/26/19	NCL	JNK	REVISED WASTE PIPING TO SUIT NEW FLOOR PLAN WITH MODIFIED LOUNGE AND FAMILY TOILET. REFERENCE 11/22/19 EMAIL FROM BO HARRISON WITH HARRISON ARCHITECTURE.
2	9/8/22	JNK	GKB	REVISED TO SUIT NEW FLOOR PLAN WITH NEW KITCHEN EQUIPMENT LAYOUT, NEW MEZZANINE LOUNGE, NEW MEZZANINE RESTROOM, ENLARGED GREEN ROOM AND STORAGE ROOMS, AND OMITTED FAMILY RESTROOM. REFERENCE 8/4/22 EMAIL FROM BO HARRISON WITH HARRISON ARCHITECTURE.



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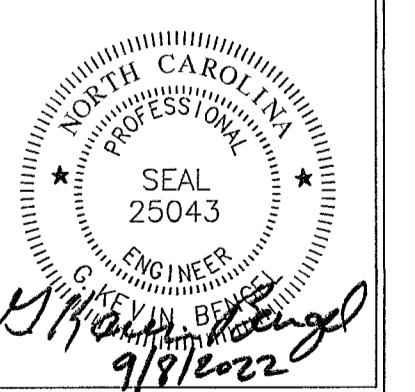
961-F Burlington Ave.
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300-A West Geer Street
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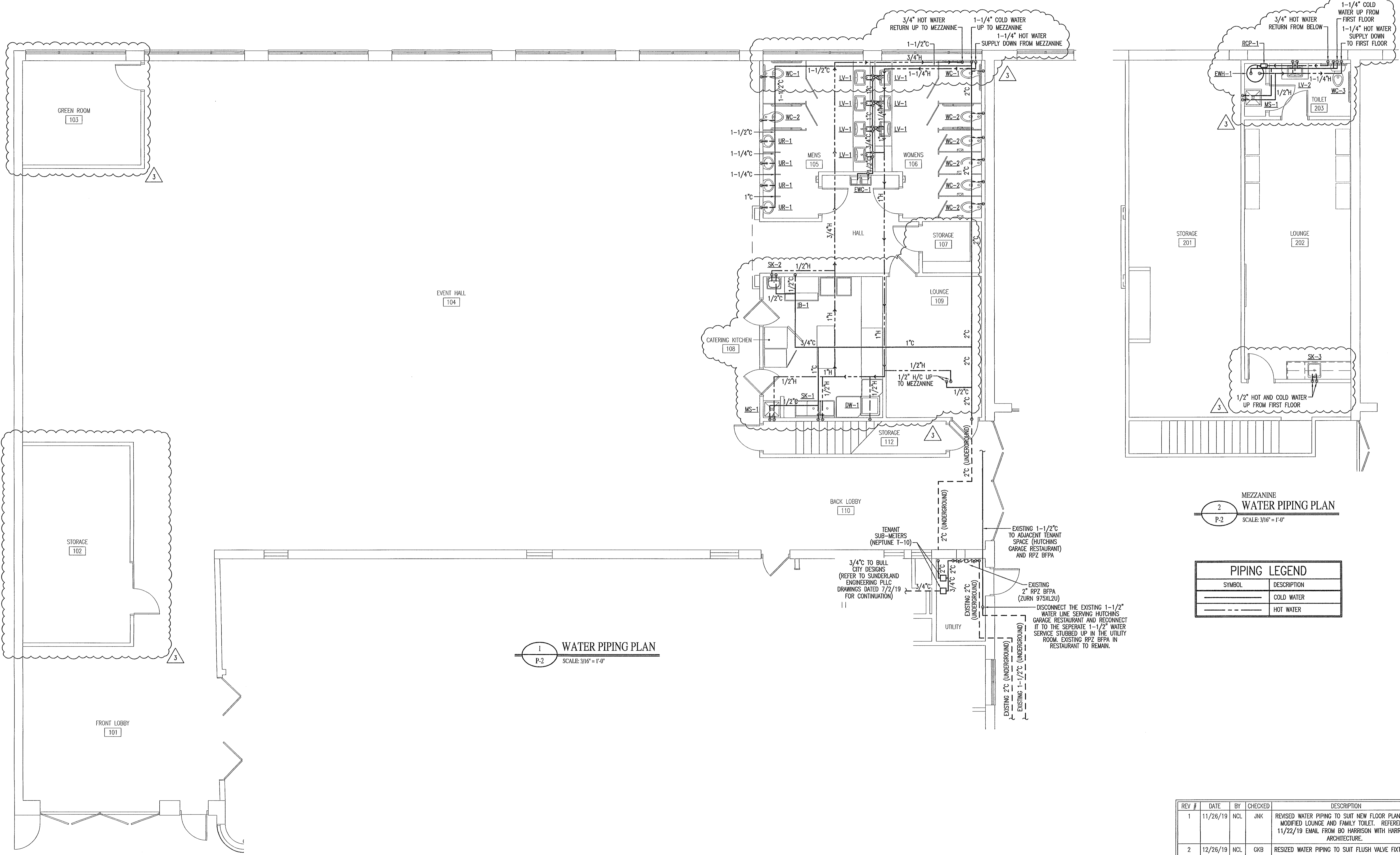
BUILDING RENOVATION FOR:
HUTCHINS EVENTS HALL
406 W. Geer Street
Durham, North Carolina

DRAWING NAME
WATER PIPING PLAN



DRAWN	NCL
CHECKED	JNK
DATE	11/26/19
SCALE	AS NOTED
JOB NO.	19070
SHEET	

P-2



1 WATER PIPING PLAN
SCALE: 3/16" = 1'-0"

2 MEZZANINE WATER PIPING PLAN
SCALE: 3/16" = 1'-0"

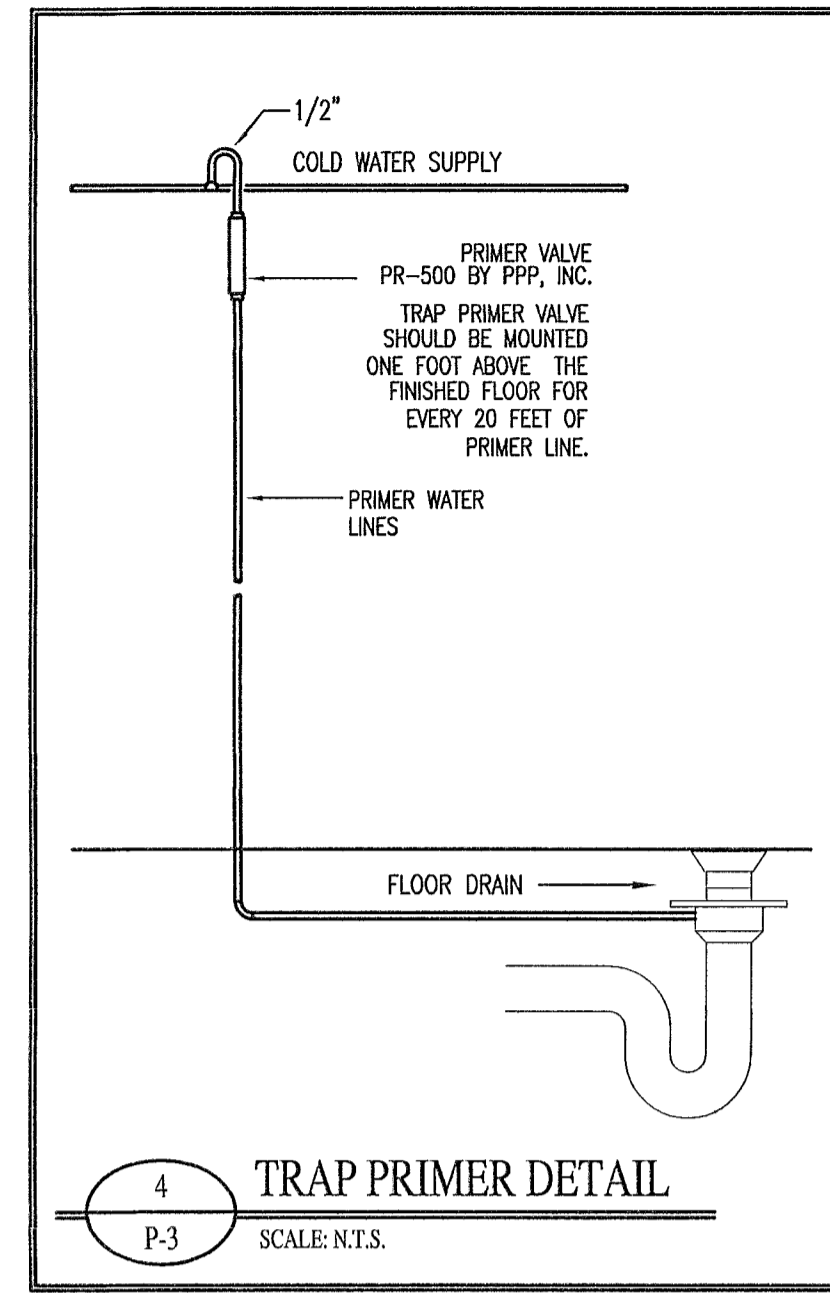
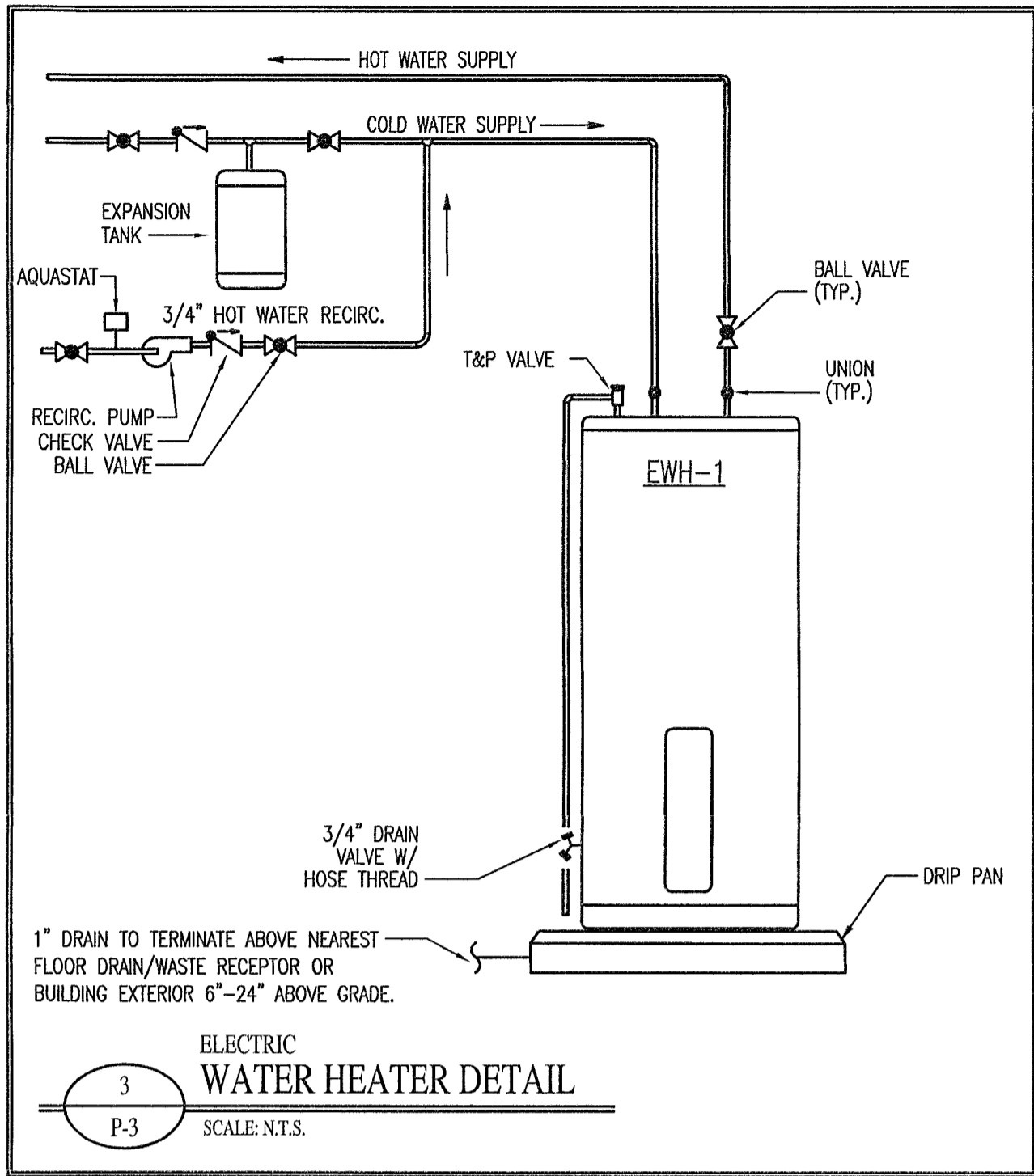
PIPING LEGEND

SYMBOL	DESCRIPTION
—	COLD WATER
- - -	HOT WATER
⋯	2°C (UNDERGROUND)

REV #	DATE	BY	CHECKED	DESCRIPTION
1	11/26/19	NCL	JNK	REVISED WATER PIPING TO SUIT NEW FLOOR PLAN WITH MODIFIED LOUNGE AND FAMILY TOILET. REFERENCE 11/22/19 EMAIL FROM BO HARRISON WITH HARRISON ARCHITECTURE.
2	12/26/19	NCL	GKB	RESIZED WATER PIPING TO SUIT FLUSH VALVE FIXTURES.
3	9/8/22	JNK	GKB	REVISED TO SUIT NEW FLOOR PLAN WITH NEW KITCHEN EQUIPMENT LAYOUT, NEW MEZZANINE LOUNGE, NEW MEZZANINE RESTROOM, ENLARGED GREEN ROOM AND STORAGE ROOMS, AND OMITTED FAMILY RESTROOM. REFERENCE 8/4/22 EMAIL FROM BO HARRISON WITH HARRISON ARCHITECTURE.

PLUMBING FIXTURE SCHEDULE							
ITEM NO.	FIXTURE DESCRIPTION	MANUFACTURER	* MODEL NO.	CONNECTION SIZES			REMARKS
				C.W.	H.W.	WASTE / VENT	
EW-1	ELECTRIC WATER COOLER	SUNROC	ADABAC	1/2"	---	1-1/2" 1-1/2"	BARRIER FREE WATER COOLER
WC-1	WATER CLOSET - FLUSH VALVE (F)	AMER. STD.	3043.001	1"	---	3" 2"	FLOOR MTD. 1.6 GAL/FLUSH, H.C. HEIGHT, SLOAN REGAL 111 FL. VALVE
WC-2	WATER CLOSET - FLUSH VALVE (F)	AMER. STD.	2234.001	1"	---	3" 2"	FLOOR MTD. 1.6 GAL/FLUSH, STANDARD HEIGHT, SLOAN REGAL 111 FL. VALVE
WC-3	WATER CLOSET - TANK TYPE	AMER. STD.	270AA.001	1/2"	---	3" 2"	FLOOR MTD. 1.28 GAL/FLUSH, H.C. HEIGHT
UR-1	URINAL	AMER. STD.	6541.132	3/4"	---	2" 2"	1.0 GAL/FLUSH, H.C. HGT, SLOAN 188-1 FL. VALVE
LV-1	UNDER COUNTER LAVATORY	AMER. STD.	0614.000	1/2"	1/2"	1-1/2" 1-1/2"	METERING TYPE FAUCET WITH MIXING VALVE, AND TRUEBRO PIPING COVERS
LV-2	COUNTER MOUNT LAVATORY	AMER. STD.	0476.028	1/2"	1/2"	1-1/2" 1-1/2"	NON-METERING TYPE FAUCET WITH MIXING VALVE, AND TRUEBRO PIPING COVERS
SK-1	2-COMPARTMENT SINK	-	-	1/2"	1/2"	3" ---	WRISTBLADE, GOOSENECK FAUCET SPECIFIED BY OWNER, TRUEBRO PIPING COVERS
SK-2	WALL HUNG SINK	AMER. STD.	0356.028	1/2"	1/2"	1-1/2" 1-1/2"	SINGLE LEVER FAUCET, TRUEBRO PIPING COVERS
SK-3	1-COMPARTMENT SINK	ELKAY	LRADQ172050	1/2"	1/2"	1-1/2" 1-1/2"	SINGLE LEVER FAUCET, TRUEBRO PIPING COVERS (WHERE PIPING IS EXPOSED)
DW-1	DISHWASHER	JACKSON	-	---	1/2"	2" ---	-
FD-1	FLOOR DRAIN	ZURN	Z-415-B	---	---	3" 1-1/2"	BODY ASSEMBLY WITH "TYPE B" STRAINER AND TRAP PRIMER
FS-1	FLOOR SINK	ZURN	Z-1902	---	---	3" 1-1/2"	10" DEEP, 12" x 12" FLOOR RECEPTOR
MS-1	MOP SINK	STERN WILLIAMS	HL-2100-BP-3	1/2"	1/2"	2" 1-1/2"	WITH STAINLESS STEEL SPLASH GUARDS
IB-1	ICE MAKER BOX	PPP	MM-500-MIMB	1/2"	---	---	MIP VALVE WITH SHOCK ARRESTOR
FCO	FLOOR CLEAN OUT	ZURN	Z-1400	---	---	---	SIZE DETERMINED UPON WASTE PIPE
HD-1	HUB DRAIN	CHARLOTTE PLASTICS	4"x2"	---	---	2" 1-1/2"	-

* FIXTURE MODEL NUMBERS LISTED ARE FOR DESCRIPTION ONLY.

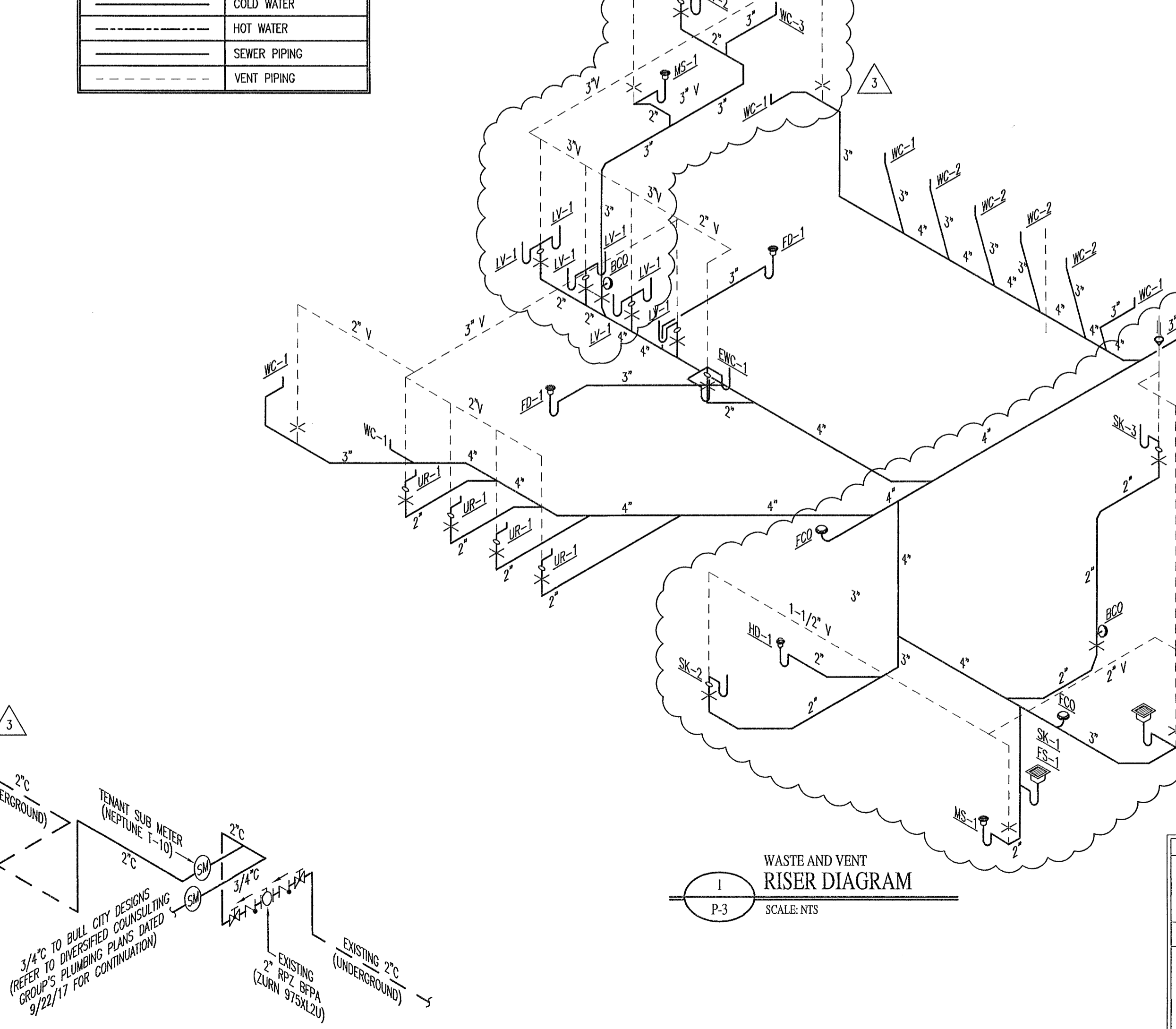
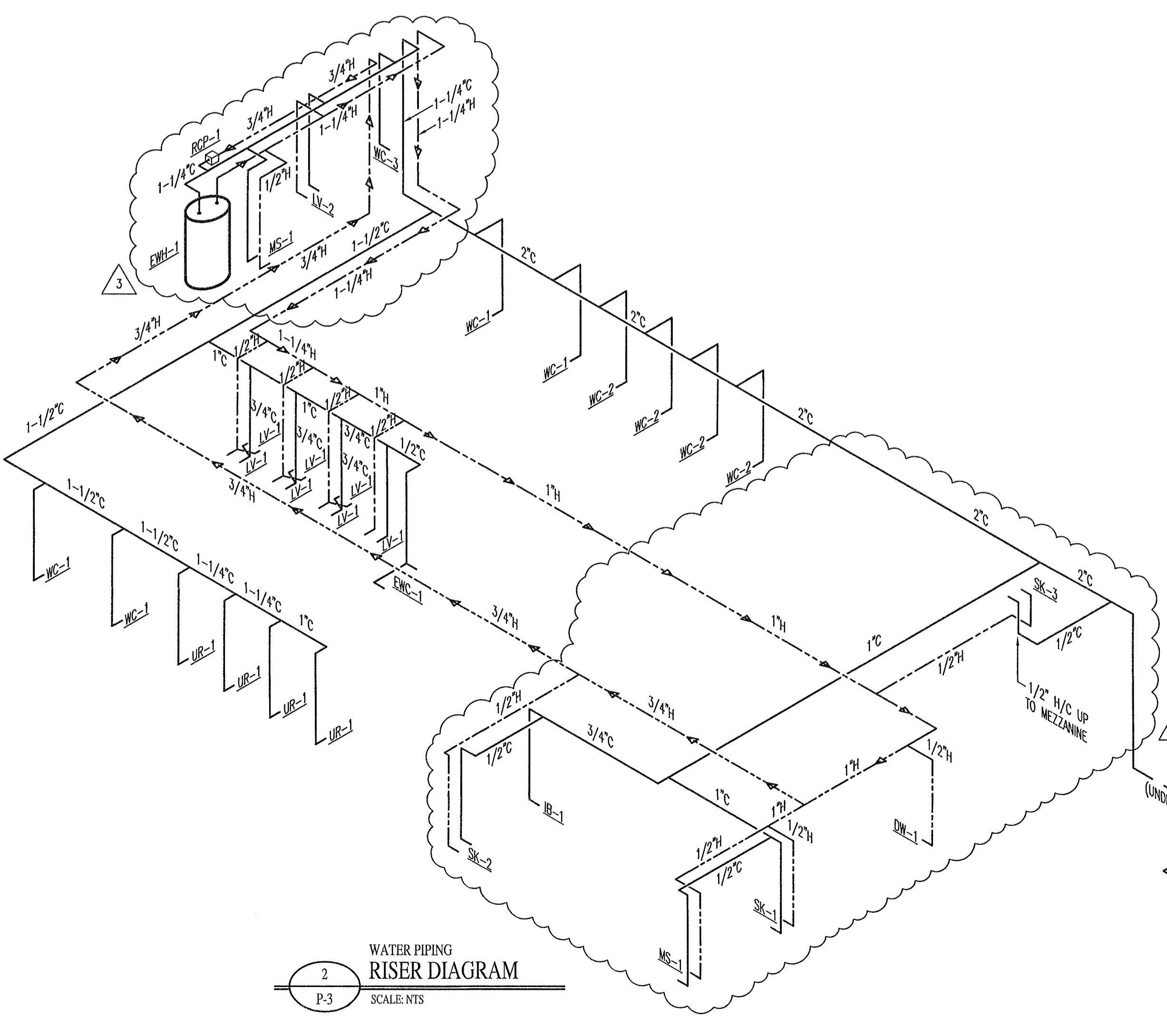


WATER HEATER SCHEDULE							
MARK	TANK VOLUME	RECOVERY	TEMPERATURE RISE	ELEMENT SIZE	POWER	MANUFACTURER	MODEL
EW-1	40 GAL.	21 GPH	90°	4.5 KW	208V/1Ø	STATE	EN8 40 DORT

PIPING LEGEND	
SYMBOL	DESCRIPTION
—	COLD WATER
- - -	HOT WATER
- - - - -	SEWER PIPING
- - - - -	VENT PIPING

Waste and Water Calculations									
Fixture Type	Quantity	Waste Fixture Units		Hot Water Fixture Units		Cold Water Fixture Units		Total Water Fixture Units	
		Per Unit	Total	Per Unit	Total	Per Unit	Total	Per Unit	Total
Water Closet - Valve	9	4	36	0	0	10	90	10	90
Water Closet - Tank	1	4	4	0	0	5	5	5	5
Urinal	9	2	18	0	0	5	45	5	45
Lavatory	9	1	9	1.5	13.5	1.5	13.5	2	18
Floor Drain	2	5	10	0	0	0	0	0	0
Hub Drain	1	3	3	0	0	0	0	0	0
Water Cooler	1	0.5	0.5	0	0	0.25	0.25	0.25	0.25
Sink	2	2	4	1	2	1	2	1.4	2.8
Mop Sink	2	2	4	2.25	4.5	2.25	4.5	3	6
2-Compartment/Prep Sink	1	4	4	3	3	3	3	4	4
Ice Maker Box	1	0	0	0	0	0.25	0.25	0.25	0.25
Total			82.5		23		138.5		146.3

Note 1 - 4" waste line sloped at 1/8" per foot is adequate for 180 fixture units (NCPC Table 710.1(1))
 Note 2 - Total GPM = 78.1 (NCPC Table E103.3(3)). 2" Water line adequate for 110 GPM (NCPC Figure E103.3(5))



PLUMBING NOTES:

1. PLUMBING TO BE INSTALLED IN ACCORDANCE WITH ALL STATE AND LOCAL CODES.
2. PLUMBING CONTRACTOR TO COORDINATE ALL WORK WITH OTHER TRADES.
3. ALL WASTE AND VENT PIPING TO BE SCHEDULE 40 P.V.C.
4. WATER LINES TO BE COPPER TYPE K (SOFT DRAWN) BELOW SLAB, AND TYPE L HARD COPPER ABOVE SLAB. CROSSLINKED POLYETHYLENE OR CPVC MAY BE USED WHERE CONCEALED.
5. ALL P.V.C. UNDER SLAB SHALL BE A MINIMUM OF 2" NPS.
6. COPPER PIPING TO BE INSULATED WHERE IT PASSES THROUGH CONCRETE.
7. PLUMBING CONTRACTOR SHALL (OR HAVE LOCAL MUNICIPALITY) PERFORM A WATER PRESSURE TEST. IF RESIDUAL WATER PRESSURE IS MORE THAN 60 PSI OR LESS THAN 35 PSI, CONTACT ENGINEER TO ASSESS NEED FOR A PRESSURE REDUCING VALVE (PRV) OR A PRESSURE BOOSTER SYSTEM.
8. INSULATE HOT AND COLD WATER LINES IN ACCORDANCE WITH NC PLUMBING AND ENERGY CODES. INSULATE COLD WATER LINES WHERE SWEATING WOULD RESULT IN STRUCTURAL DAMAGE TO BUILDING DUE TO ROTTING OF WOOD OR STAINING OF CEILING TILES. INSULATE HOT WATER RECIRCULATION LINE WITH 1" INSULATION.
9. TRAP PRIMERS SHALL BE INSTALLED ON FLOOR DRAINS.
10. LAVATORIES ARE TO BE EQUIPPED WITH CLEAN-OUT TEES BELOW.
11. ALL FIXTURES ARE TO BE EQUIPPED WITH SHUT-OFF VALVES ON SUPPLY LINES.
12. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL PIPING AND EQUIPMENT WITH ALL OTHER TRADES PRIOR TO BEGINNING INSTALLATION TO AVOID CONFLICTS AND INTERFERENCE WITH OTHER TRADES.
13. FINAL UTILITY CONNECTIONS (GAS, ELECTRIC, WATER ETC.) TO EQUIPMENT SHALL BE MADE BY THE CONTRACTOR INSTALLING THE EQUIPMENT REQUIRING THE UTILITIES.
14. PLANS AND ISOMETRICS ARE DIAGRAMMATIC. THERE IS NO INTENT TO INDICATE ALL FITTINGS REQUIRED. GENERALLY, PIPING SHALL BE INSTALLED PARALLEL OR PERPENDICULAR TO AND PLUMB WITH WALL CONSTRUCTION.
15. SOIL AND WASTE PIPING SHALL BE LAID ON MINIMUM 1/4" PER FT. SLOPE FOR PIPE SIZES LESS THAN 3", AND MINIMUM 1/8" PER FT. FOR PIPE 3" AND LARGER UNLESS OTHERWISE NOTED.
16. UNLESS OTHERWISE NOTED, PLUMBING CONTRACT SHALL TERMINATE AT A FIVE (5) FEET OUTSIDE THE BUILDING. FOR WORK BY OTHER CONTRACTORS OUTSIDE THE 5 FOOT TERMINATION, REFER TO SITE UTILITY DRAWINGS.
17. VALVES AND DEVICES INSIDE CHASES OR WALLS OR ABOVE NON-ACCESSIBLE CEILINGS SHALL BE PROVIDED WITH APPROPRIATELY SIZED ACCESS PANEL COMPATIBLE WITH SURROUNDING FINISHES. SUCH ACCESS PANELS SHALL BE FURNISHED BY THE PLUMBING CONTRACTOR FOR INSTALLATION BY THE GENERAL CONTRACTOR.
18. PLUMBING VENT PIPING PENETRATING ROOF SHALL BE INSTALLED BY THE PLUMBING CONTRACTOR. CUTTING OF HOLES AND FLASHING OF PENETRATIONS SHALL BE BY THE GENERAL CONTRACTOR.
19. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONED LOCATIONS OF WALLS AND PARTITIONS AND FOR PARTITION THICKNESS AND CONSTRUCTION MATERIALS.
20. FOR PLASTIC SEWER PIPING, AN INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR SHALL BE INSTALLED ADJACENT TO AND OVER THE FULL LENGTH OF THE PIPING. ACCESS SHALL BE PROVIDED TO THE TRACER WIRE OR THE TRACER WIRE SHALL TERMINATE AT THE CLEANOUT BETWEEN THE BUILDING DRAIN AND SEWER. THE TRACER WIRE SIZE SHALL BE NOT LESS THAN 14 AWG AND THE INSULATION TYPE SHALL BE LISTED FOR DIRECT BURIAL.

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BUILDING RENOVATION FOR:
HUTCHINS EVENTS HALL
 406 W. Geer Street
 Durham, North Carolina

DRAWING NAME
PLUMBING PLAN

SEAL 25043
 NORTH CAROLINA PROFESSIONAL ENGINEER
 P. D. HARRISON
 9/8/2022

DRAWN: NCL
 CHECKED: JNK
 DATE: 11/26/19
 SCALE: AS NOTED
 JOB NO.: 19070
 SHEET: P-3

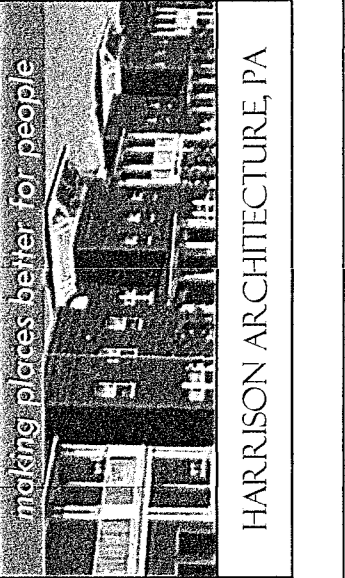
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1	11/26/19	NCL	JNK	REVISED WASTE AND WATER PIPING TO SUIT NEW FLOOR PLAN WITH MODIFIED LOUNGE AND FAMILY TOILET. REFERENCE 11/22/19 EMAIL FROM BO HARRISON WITH HARRISON ARCHITECTURE.
2	12/26/19	NCL	GKB	RESIZED WATER PIPING TO SUIT FLUSH VALVE FIXTURES.
3	9/8/22	JNK	GKB	REVISED TO SUIT NEW FLOOR PLAN WITH NEW KITCHEN EQUIPMENT LAYOUT, NEW MEZZANINE LOUNGE, NEW MEZZANINE RESTROOM, ENLARGED GREEN ROOM AND STORAGE ROOMS, AND OMITTED FAMILY RESTROOM. REFERENCE 8/4/22 EMAIL FROM BO HARRISON WITH HARRISON ARCHITECTURE.



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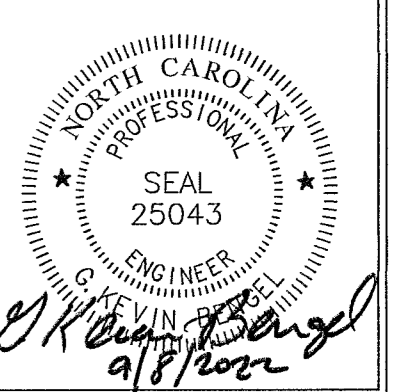
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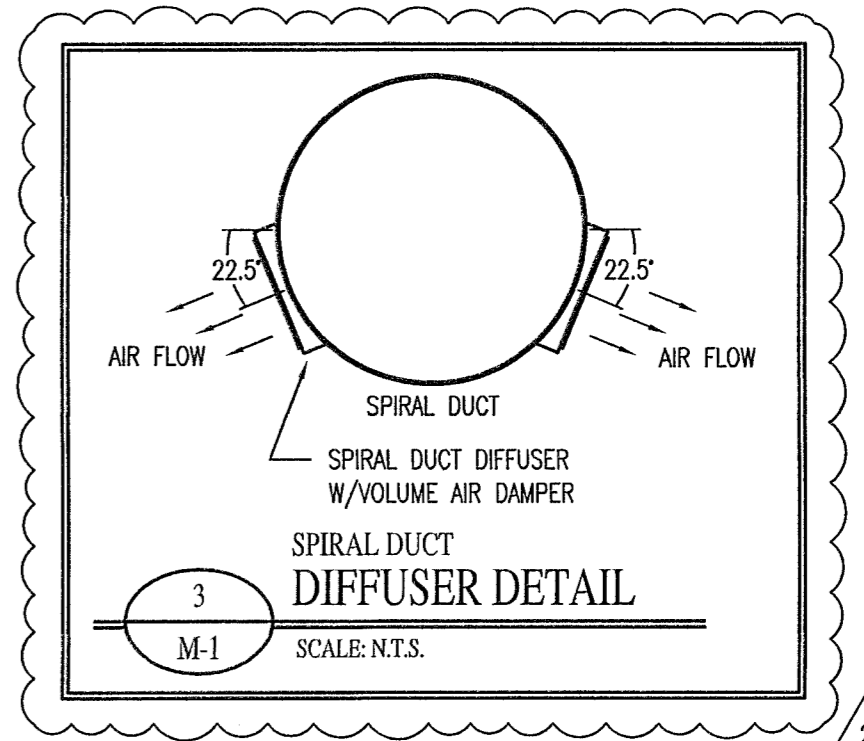
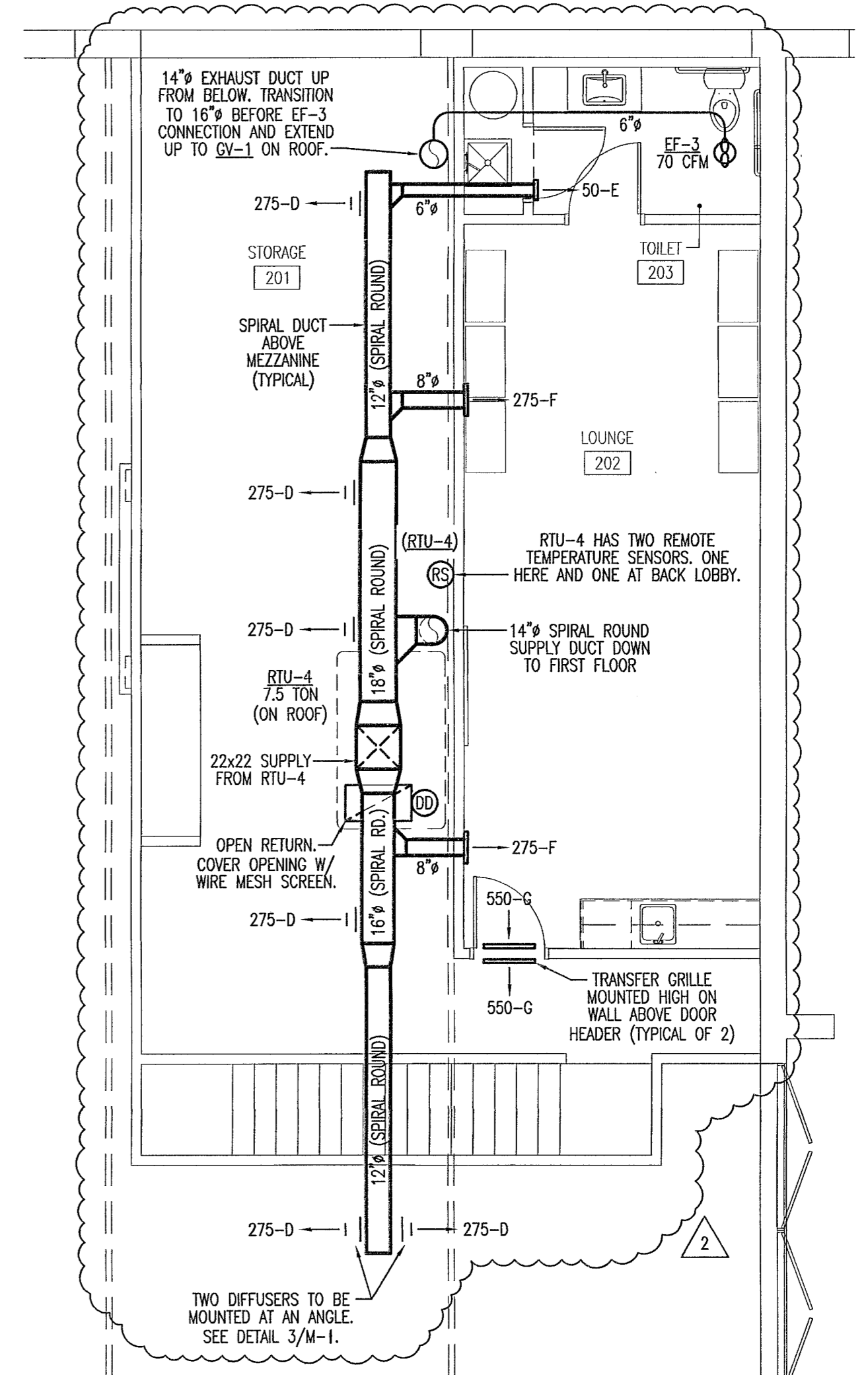
BUILDING RENOVATION FOR:
HUTCHINS EVENTS HALL
406 W. Geer Street
Durham, North Carolina

DRAWING NAME
MECHANICAL PLAN

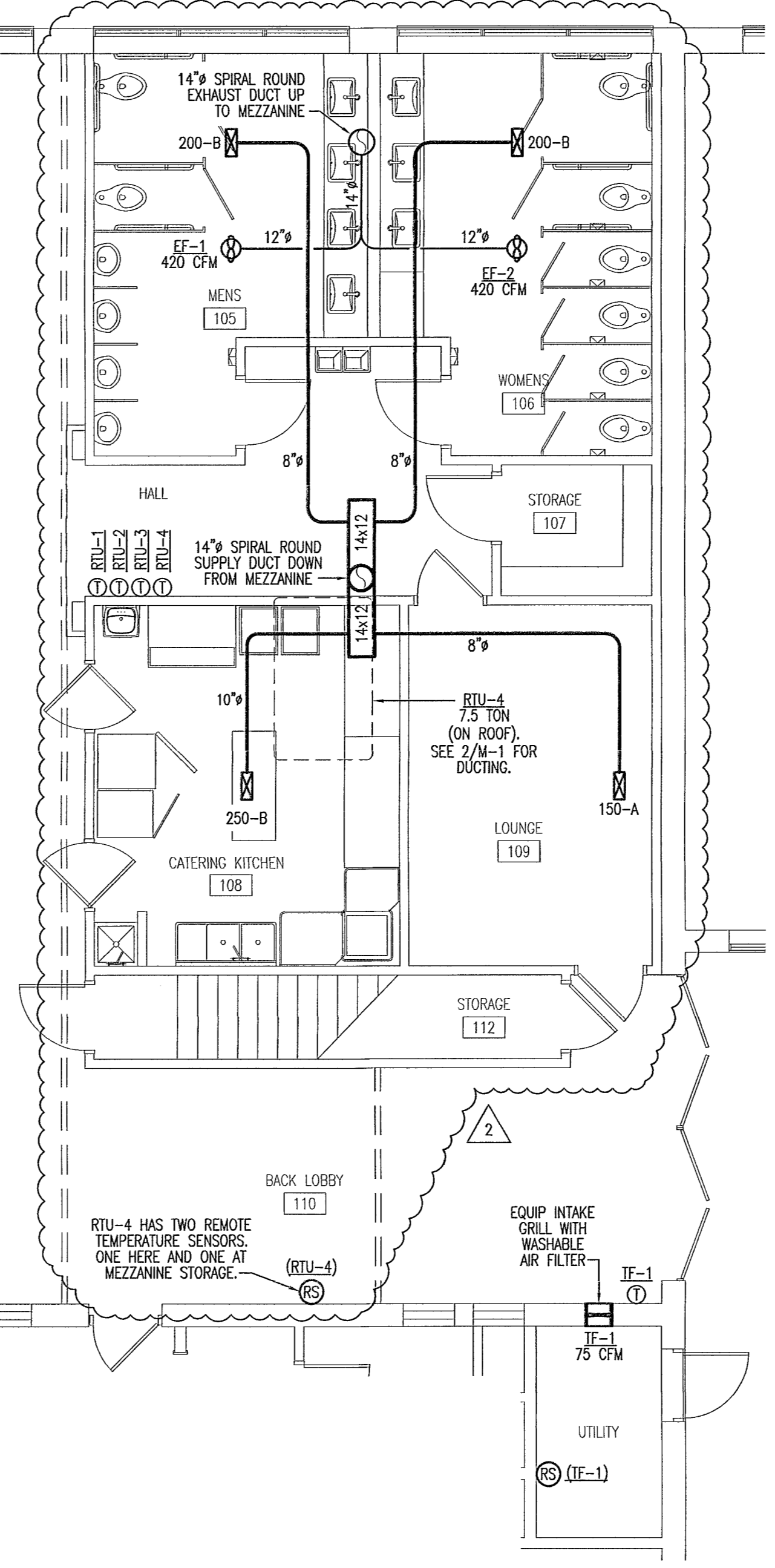


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DATE	11/26/19
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JOB NO.	19070
SHEET	

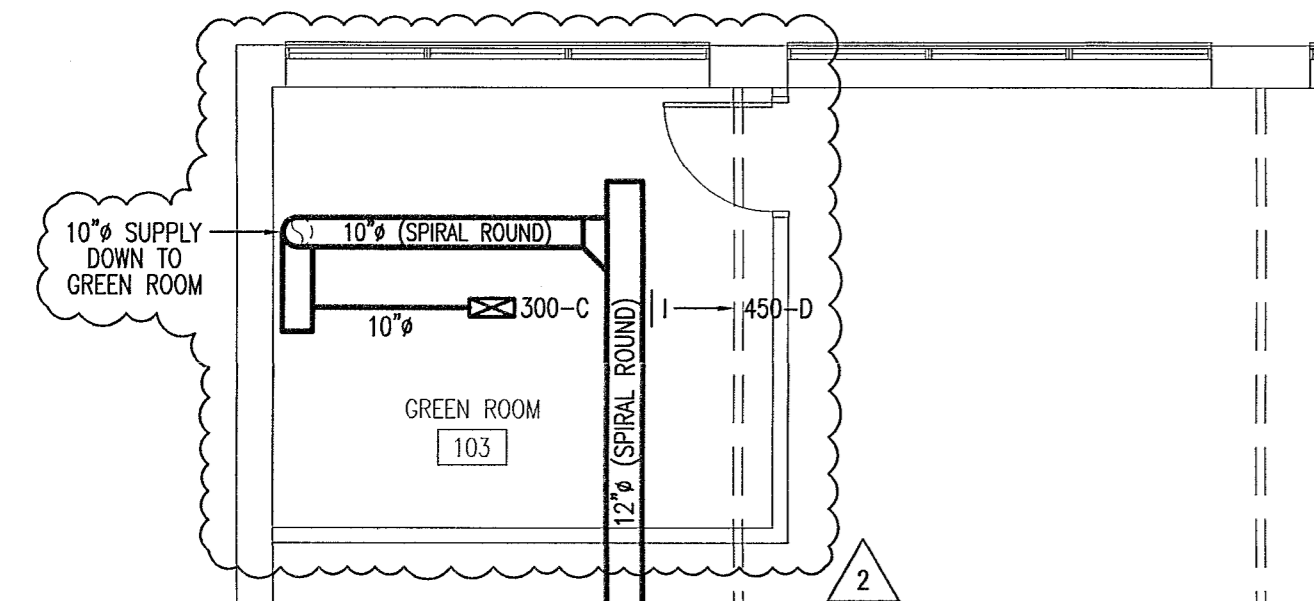
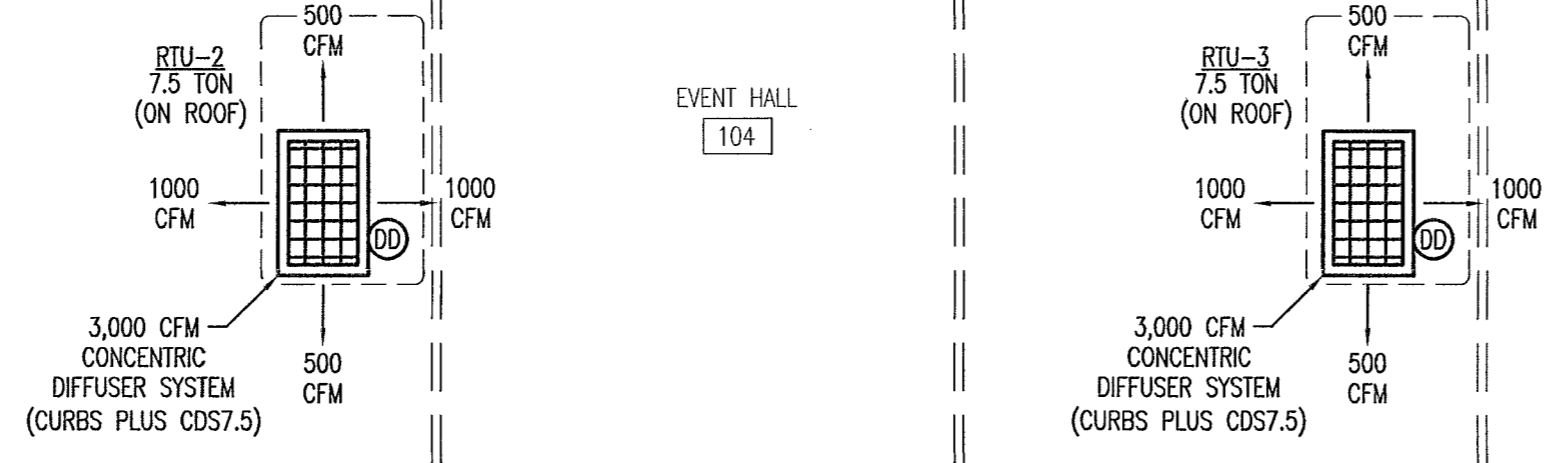
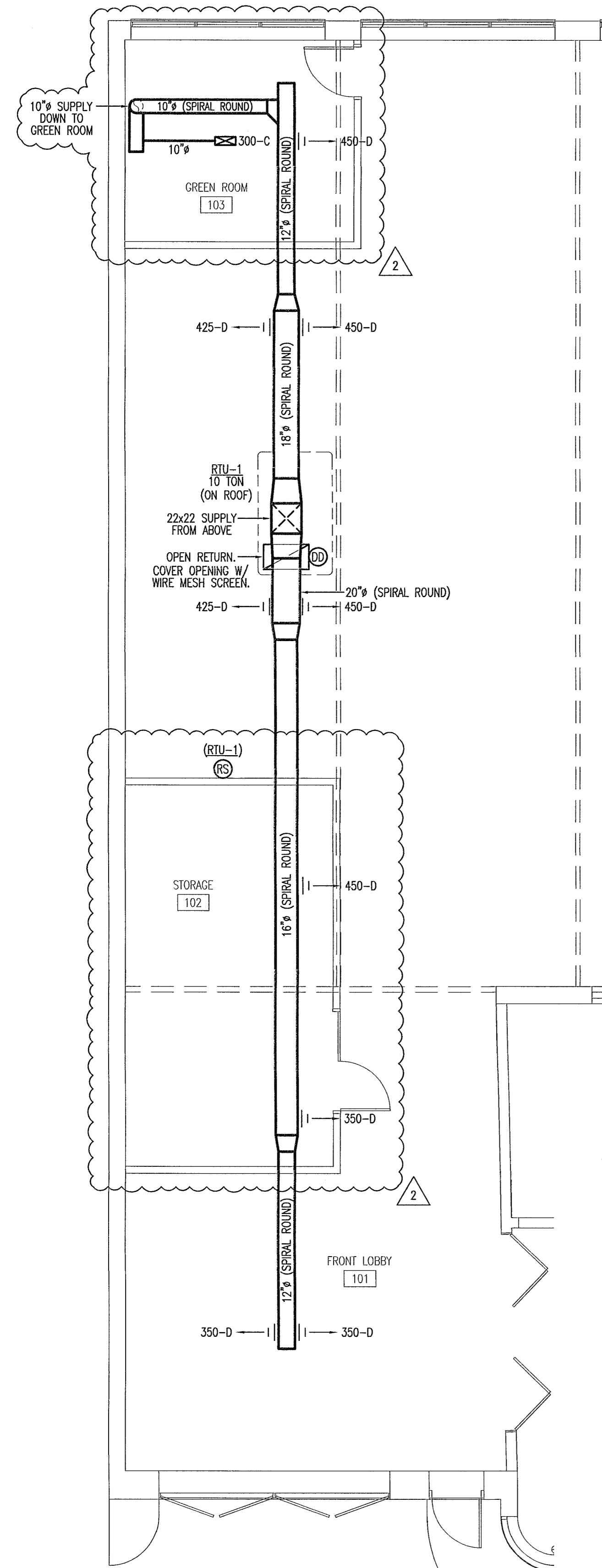
M-1

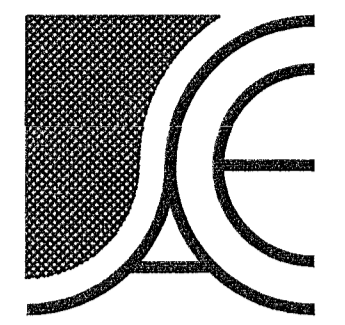


REV #	DATE	BY	CHECKED	DESCRIPTION
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2	9/8/22	JNK	GKB	REVISED TO SUIT NEW FLOOR PLAN WITH NEW KITCHEN EQUIPMENT LAYOUT, NEW MEZZANINE LOUNGE, NEW MEZZANINE RESTROOM, ENLARGED GREEN ROOM AND STORAGE ROOMS, AND OMITTED FAMILY RESTROOM. REFERENCE 8/4/22 EMAIL FROM BO HARRISON WITH HARRISON ARCHITECTURE.



SYMBOLS & ABBREVIATIONS LEGEND	
SYMBOL	DESCRIPTION
Ⓢ	PROGRAMMABLE THERMOSTAT (SEE NOTE 7)
⊠	CEILING SUPPLY DIFFUSER
	SIDEWALL SUPPLY DIFFUSER
▬	SUPPLY DUCT SECTION
▬	RETURN DUCT SECTION
CFM	CUBIC FEET PER MINUTE
---	NATURAL GAS
	UNION
⊕	DIAMETER OR POWER PHASE
C/E	CONNECT TO EXISTING
O.A.	OUTSIDE AIR
R.A.	RETURN AIR
S.A.	SUPPLY AIR
A.F.F.	ABOVE FINISHED FLOOR
(E)	DENOTES EXISTING TO REMAIN
⊕	EXHAUST FAN
Ⓢ	DUCT MOUNTED SMOKE DETECTOR
Ⓢ	REMOTE TEMPERATURE SENSOR

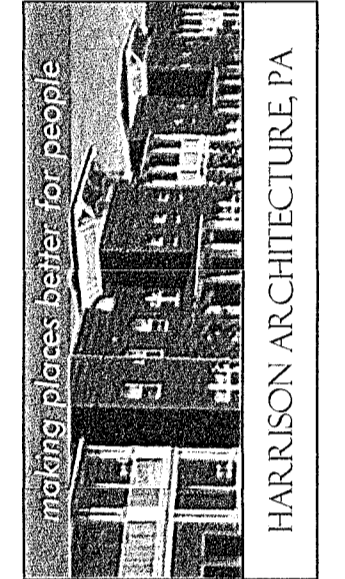




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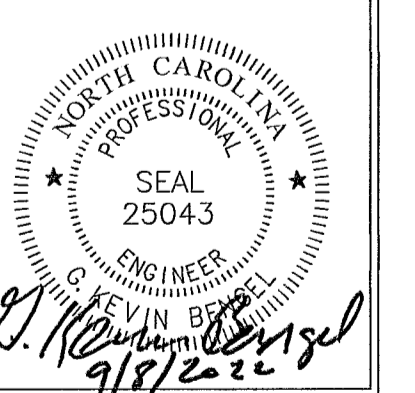
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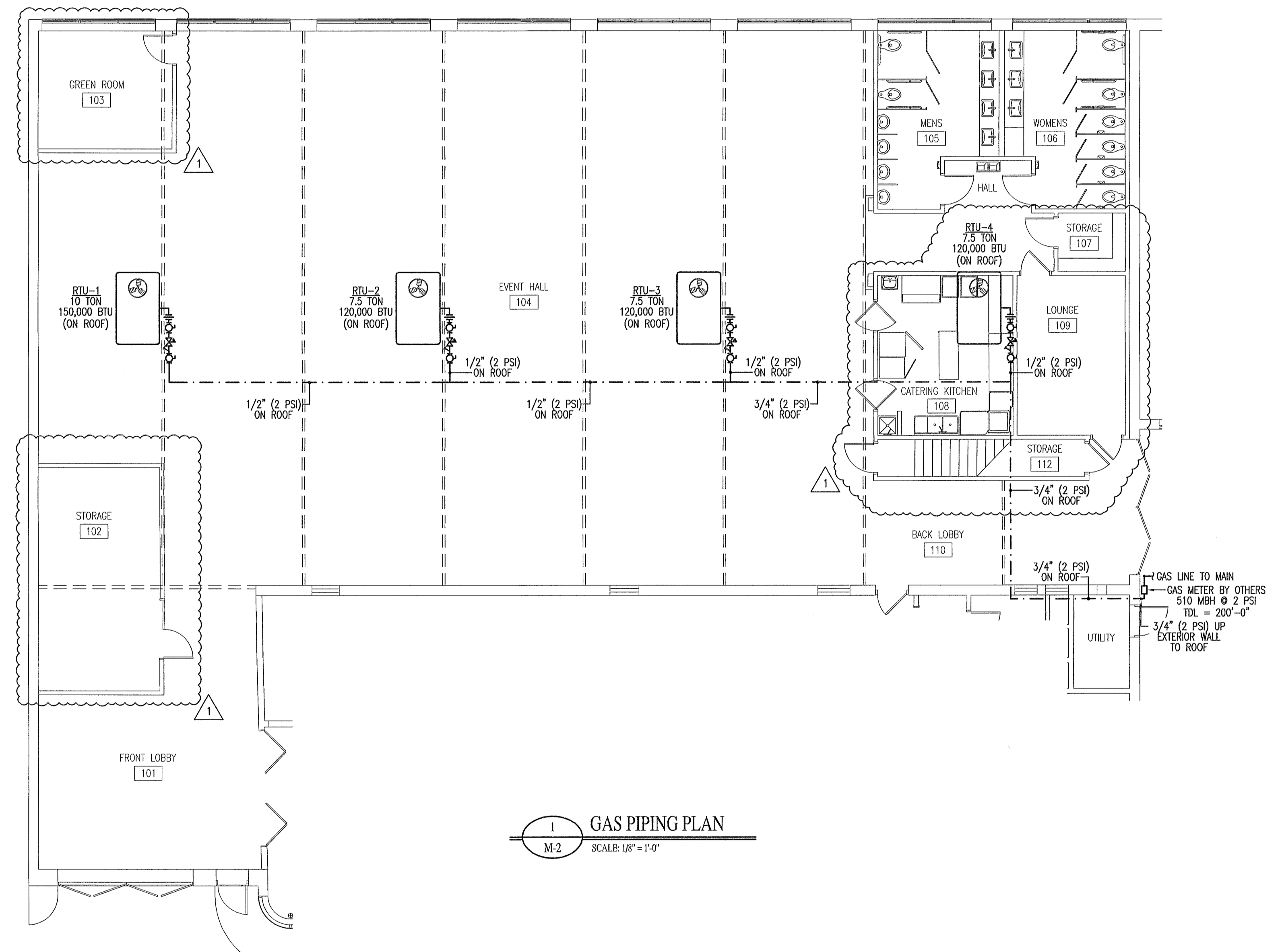
BUILDING RENOVATION FOR:
HUTCHINS EVENTS HALL
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Durham, North Carolina

DRAWING NAME
GAS PIPING PLAN

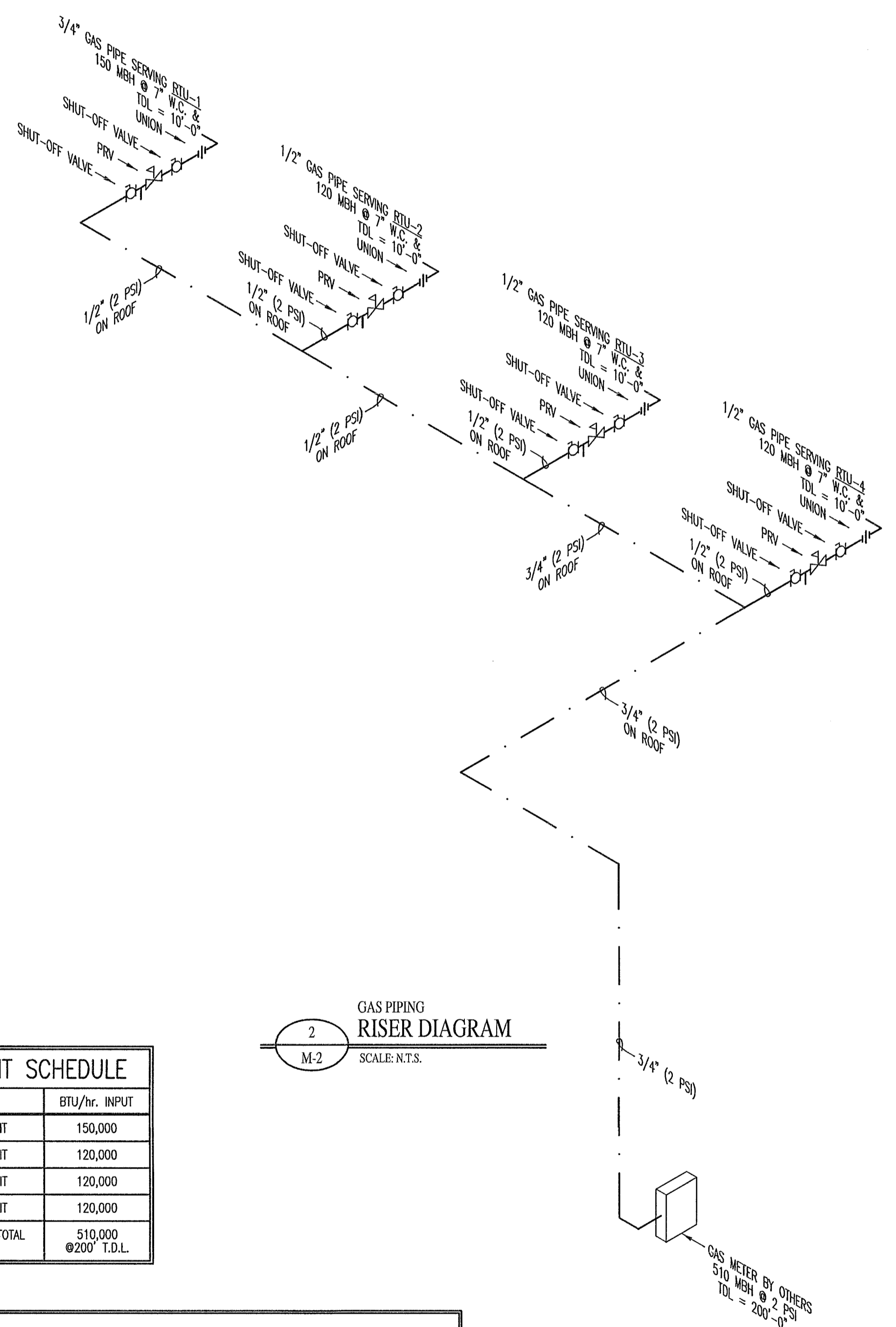


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M-2

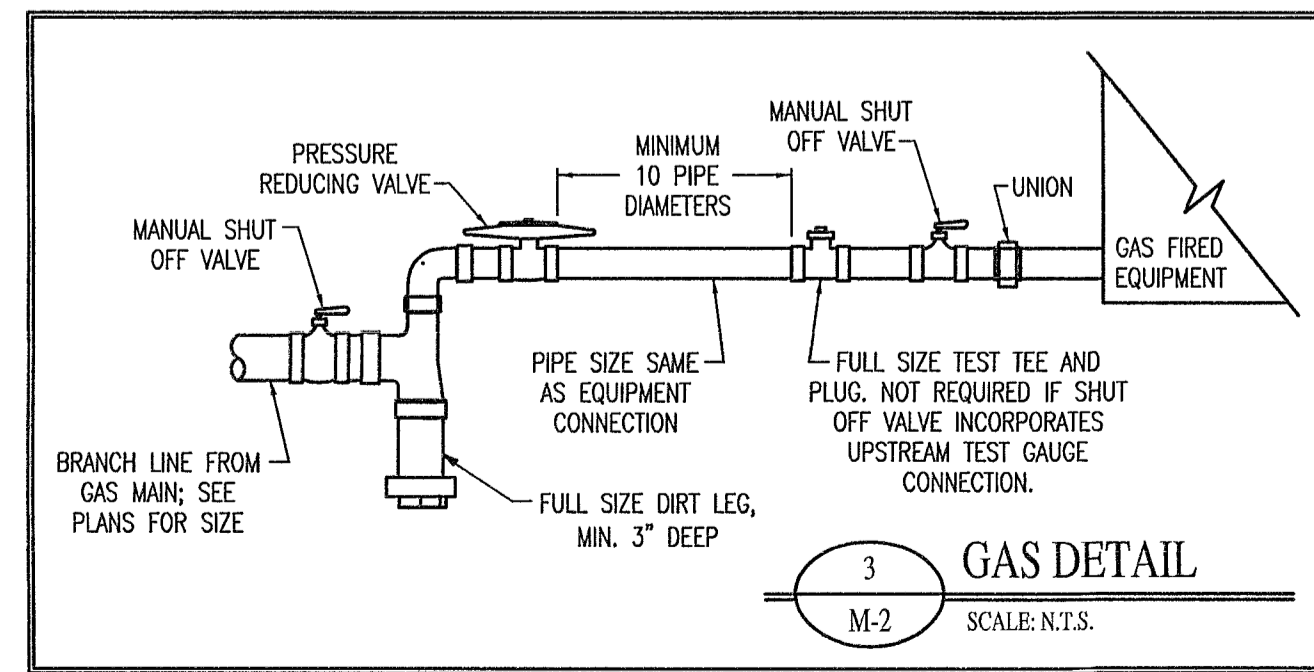


1 GAS PIPING PLAN
SCALE: 1/8" = 1'-0"



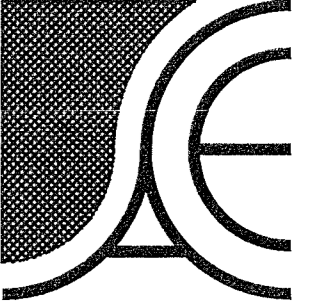
2 GAS PIPING RISER DIAGRAM
SCALE: N.T.S.

MARK	DESCRIPTION	BTU/hr. INPUT
RTU-1	ROOF TOP UNIT	150,000
RTU-2	ROOF TOP UNIT	120,000
RTU-3	ROOF TOP UNIT	120,000
RTU-4	ROOF TOP UNIT	120,000
TOTAL		510,000 @200' T.D.L.



3 GAS DETAIL
SCALE: N.T.S.

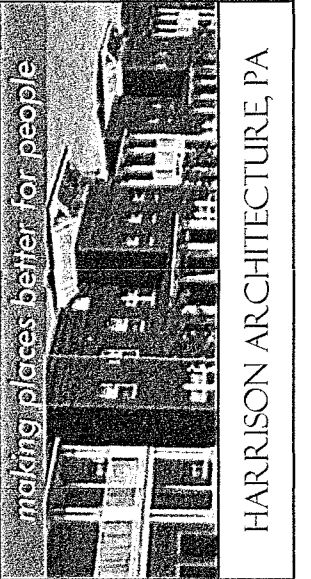
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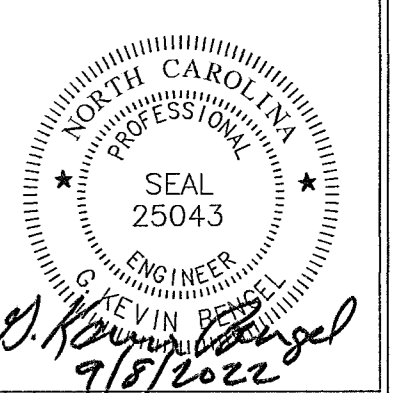
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BUILDING RENOVATION FOR: HUTCHINS EVENTS HALL 406 W. Geer Street Durham, North Carolina

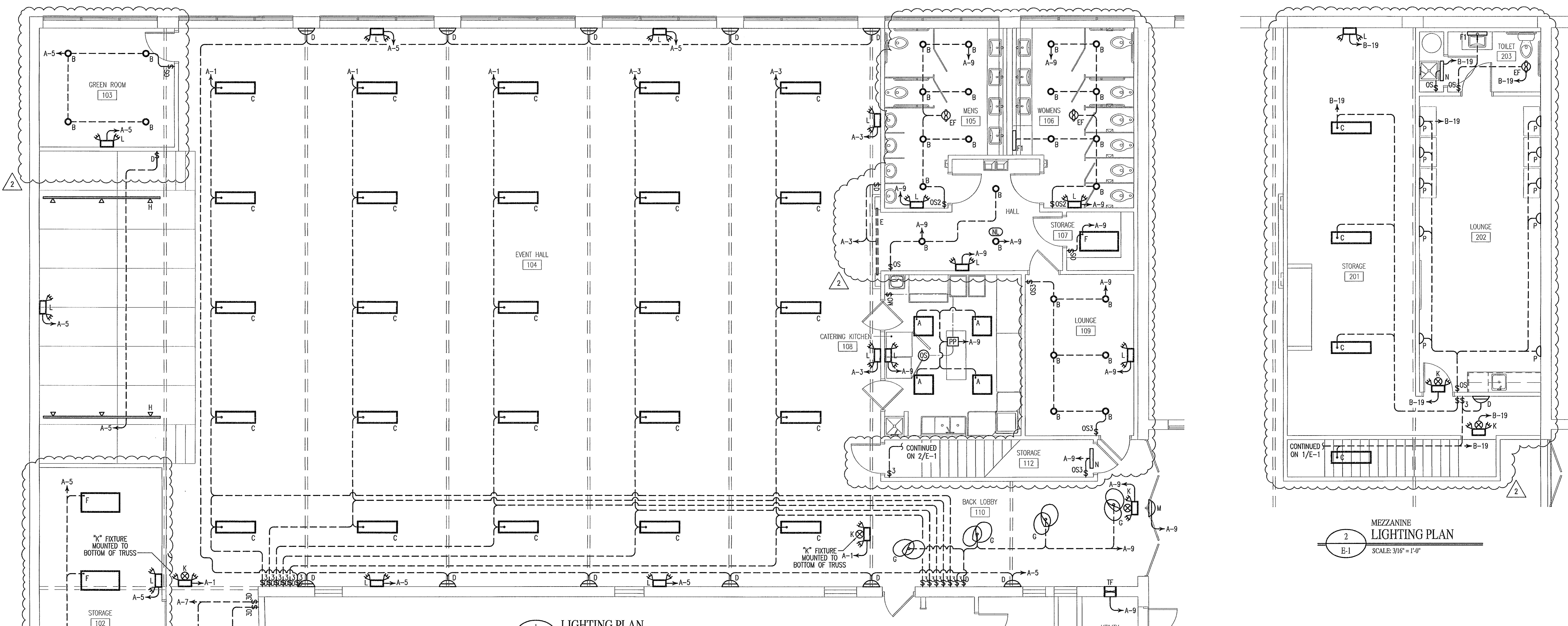
DRAWING NAME:
LIGHTING PLAN



DRAWN: TGW
CHECKED: JNK
DATE: 11/26/19
SCALE: AS NOTED

JOB NO.: 19070
SHEET

E-1



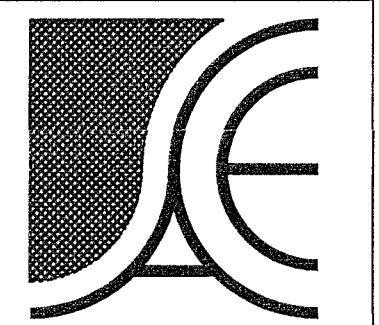
MEZZANINE LIGHTING PLAN
SCALE: 3/16" = 1'-0"

1 LIGHTING PLAN
SCALE: 3/16" = 1'-0"

LIGHTING LEGEND					
MARK	SYMBOL	DESCRIPTION	MARK	SYMBOL	DESCRIPTION
A		2'x2' LED TROFFER WITH SURFACE MOUNT KIT, 5,479 LUMENS, 4,000K CCT, 31W, LITHONIA LIGHTING # EPANL 2X2 34L 40K (FIXTURE) LITHONIA LIGHTING # 2X2SMKSH (MOUNTING KIT)	M		DECORATIVE EXTERIOR EMERGENCY LIGHT, TWO 6W XENON LAMPS, W/HIGH-TEMPERATURE NICKEL-CADMIUM BATTERY, LITHONIA #AFN-W-EXT
B		8\"/>	N		2' LED WALL MOUNTED STRIP LIGHT, 3,500 LUMENS, 18W, LITHONIA LIGHTING # CLX L24 3500LM SEF FDL 120 G71 40K 80CRI
C		4'-0\"/>	P		WALL MOUNTED LED SCONCE, 1633 LUMENS TOTAL, 3,000K CCT, 16W, BROWNLEE LIGHTING # 1381-NI-C17-30K
D		WALL MOUNTED LED UP/DOWN LIGHT, 123 LUMENS TOTAL, 3,000K CCT, 12W, BROWNLEE LIGHTING # 1572-BN-B12-30K	Q		DECORATIVE LED WALL MOUNTED FIXTURE TO ILLUMINATE WALL SIGN, 50W
E		23'-0\"/>	NL		DENOTES UNSWITCHED NIGHT LIGHT
EF		BATHROOM EXHAUST FAN, SEE EXHAUST FAN SCHEDULE FOR SPECIFICATIONS	\$D		SINGLE POLE WALL SWITCH WITH DIMMER
F		2'x2' LED TROFFER WITH SURFACE MOUNT KIT, 3,914 LUMENS, 4,000K CCT, 39W, LITHONIA LIGHTING # EPANL 2X4 40L 40K (FIXTURE) LITHONIA LIGHTING # 2X4SMKSH (MOUNTING KIT)	\$3		THREE WAY WALL SWITCH
F1		INTERIOR WALL MOUNTED 24\"/>	\$3D		THREE WAY WALL SWITCH WITH DIMMER
G		LED CHANDELIER, PROVIDED BY OWNER WITH SELECTION COORDINATED WITH ARCHITECT, WATTAGE TO NOT EXCEED 310 WATTS	\$OS		LINE VOLTAGE WALL MOUNTED PIR OCCUPANCY SENSOR WITH MANUAL OVERRIDE (30 MIN. MAX. OVERRIDE)
H		12' JUNO LIGHTING TRACK W/ (3) LED TRACK FIXTURE HEADS, 360W TOTAL	\$OS3		THREE WAY LINE VOLTAGE WALL MOUNTED PIR OCCUPANCY SENSOR WITH MANUAL OVERRIDE (30 MIN. MAX. OVERRIDE)
J		LED CHANDELIER, PROVIDED BY OWNER WITH SELECTION COORDINATED WITH ARCHITECT, WATTAGE TO NOT EXCEED 310 WATTS	OS		LOW VOLTAGE CEILING MOUNTED PIR OCCUPANCY SENSOR
K		LED EMERGENCY/EXIT LIGHT WITH BATTERY BACK-UP	\$MO		LOW VOLTAGE WALL MOUNTED MANUAL OVERRIDE FOR CEILING OCCUPANCY SENSOR (30 MIN. MAX. OVERRIDE)
L		LED EMERGENCY LIGHT WITH BATTERY BACK-UP	\$OS2		LINE VOLTAGE WALL MOUNTED PIR/US (DUAL TECHNOLOGY) OCCUPANCY SENSOR WITH MANUAL OVERRIDE (30 MIN. MAX. OVERRIDE)
			PP		LOW VOLTAGE SENSOR POWER PACK WITH RELAY FOR SWITCHING LIGHTING CIRCUITS
					DENOTES LINE VOLTAGE WIRING
					DENOTES LOW VOLTAGE WIRING

* COORDINATE FIXTURE SPECIFICATIONS WITH OWNER AND ARCHITECT

REV #	DATE	BY	CHECKED	DESCRIPTION
1	11/26/19	NCL	JNK	REVISED LIGHTING PLAN TO SUIT NEW FLOOR PLAN WITH MODIFIED AREAS. REFERENCE 11/22/19 EMAIL FROM BO HARRISON WITH HARRISON ARCHITECTURE.
2	9/8/22	JNK	GKB	REVISED TO SUIT NEW FLOOR PLAN AND RCP WITH NEW KITCHEN EQUIPMENT LAYOUT, NEW MEZZANINE LOUNGE, NEW MEZZANINE RESTROOM, ENLARGED GREEN ROOM AND STORAGE ROOMS, AND OMITTED FAMILY RESTROOM. REFERENCE 8/4/22 EMAIL FROM BO HARRISON WITH HARRISON ARCHITECTURE.

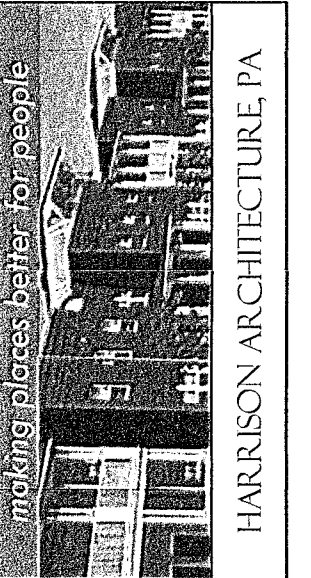


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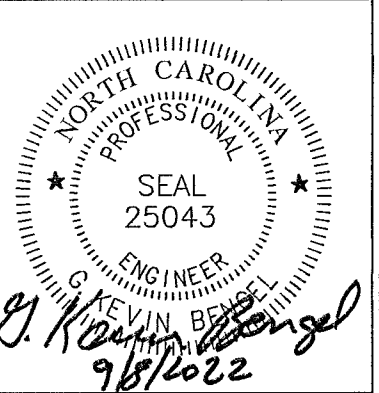
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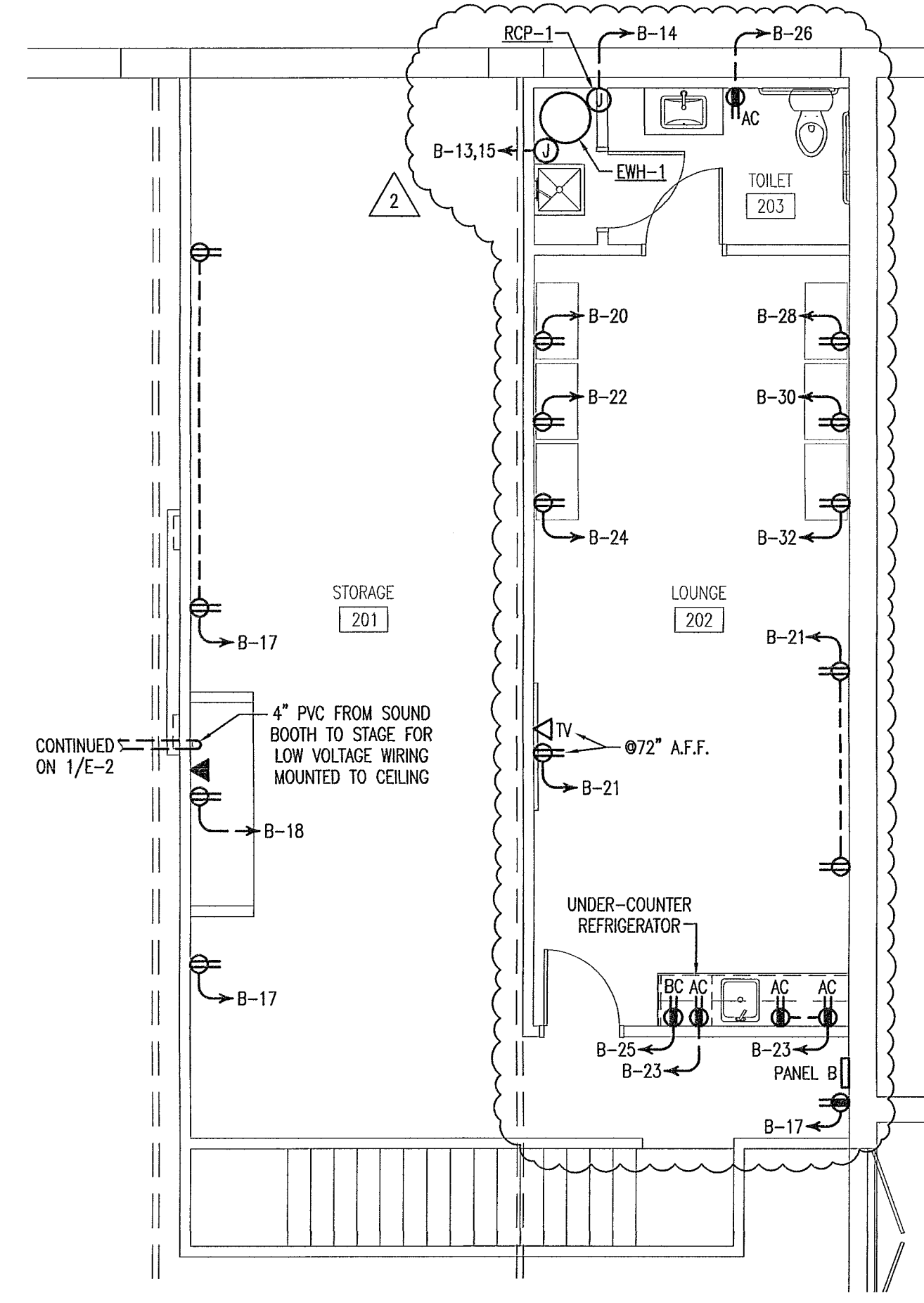
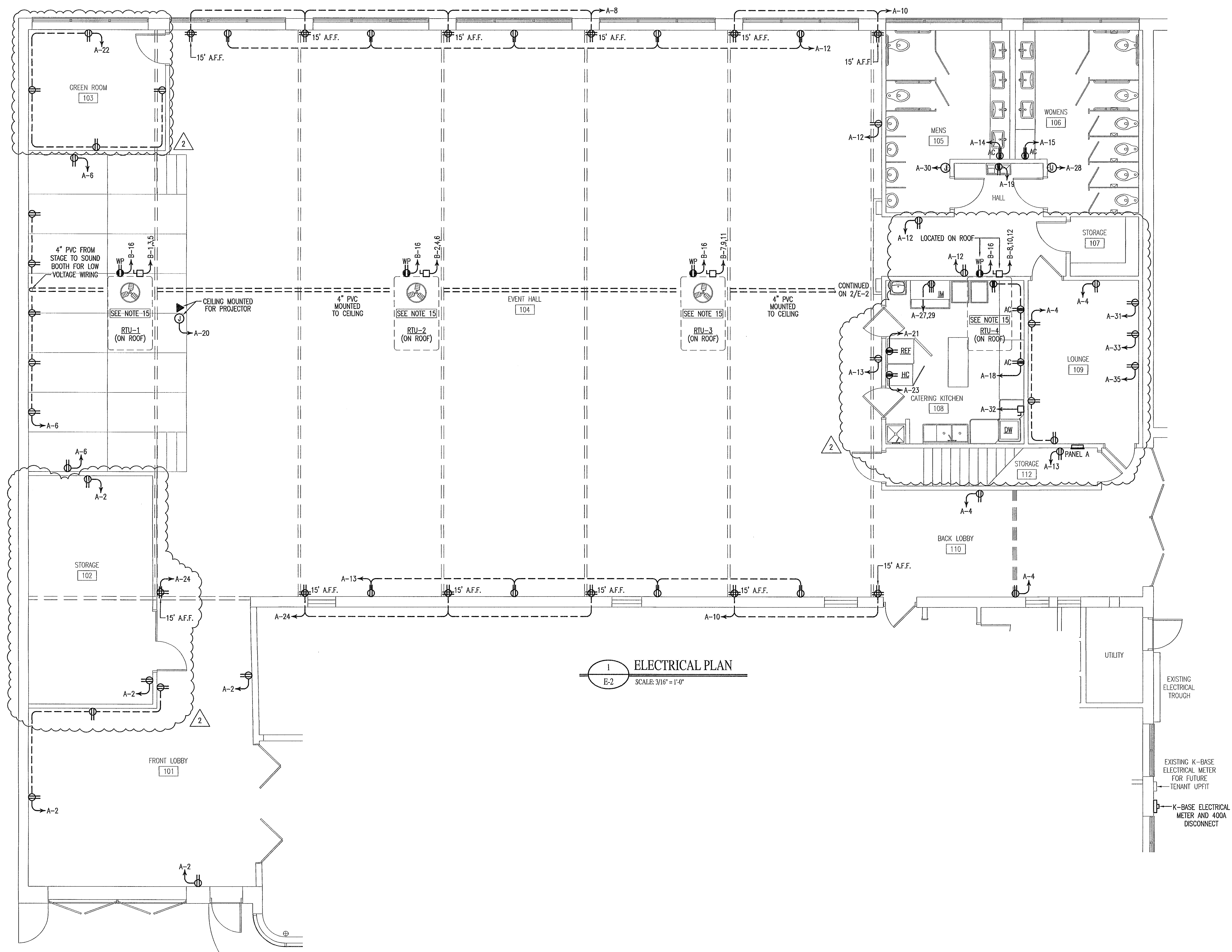
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DRAWING NAME:
ELECTRICAL PLAN



DRAWN
TGW
CHECKED
JNK
DATE
11/26/19
SCALE
AS NOTED
JOB NO.
19070
SHEET

E-2



ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	120V DUPLEX RECEPTACLE
	120V DUPLEX RECEPTACLE, GROUND FAULT INTERRUPTER
	120V DUPLEX RECEPTACLE, GROUND FAULT INTERRUPTER, WEATHER PROOF
	120V QUAD RECEPTACLE
	UNFUSED DISCONNECT
	TELE/DATA OUTLET
	JUNCTION BOX
	ELECTRICAL PANEL
AC	DENOTES RECEPTACLE TO BE MOUNTED ABOVE COUNTER AT 42" AFF
BC	DENOTES RECEPTACLE TO BE MOUNTED BELOW COUNTER AT 18" AFF
	TV CABLE OUTLET
	208V RECEPTACLE

REV #	DATE	BY	CHECKED	DESCRIPTION
1	11/26/19	NCL	JNK	REVISED ELECTRICAL PLAN TO SUIT NEW FLOOR PLAN WITH MODIFIED AREAS. REFERENCE 11/22/19 EMAIL FROM BO HARRISON WITH HARRISON ARCHITECTURE.
2	9/8/22	JNK	GKB	REVISED TO SUIT NEW FLOOR PLAN WITH NEW KITCHEN EQUIPMENT LAYOUT, NEW MEZZANINE LOUNGE, NEW MEZZANINE RESTROOM, ENLARGED GREEN ROOM AND STORAGE ROOMS, AND OMITTED FAMILY RESTROOM. REFERENCE 8/4/22 EMAIL FROM BO HARRISON WITH HARRISON ARCHITECTURE.

