

HH ARCHITECTURE

ADDENDUM #2

November 11, 2021

Project Name: **Lake Woodard Annex Renovations**
Owner: Raleigh Water
City Bid #: MISC-2020-46R
HH Project #: 16-097
From: **HH Architecture**
David Carey, Associate AIA, LEED AP dcarey@hh-arch.com
To: All plan holders

Message: Bidders are hereby informed that the following additions, deletions, changes and clarifications supersede and supplement the Contract Documents for the above referenced project. It forms a part of the previously issued documents dated October 8, 2021.

This addendum may include revised pages and drawings, which shall be inserted before the corresponding page or drawings in the previously issued documents.

REVISIONS TO DRAWINGS

1. Sheet G000:
 - a. **Delete** reference to "known presence of asbestos" and "lead-based paint warning" under Warnings & Notes section. It is not expected that hazardous materials are present in the building. Reference Selective Demolition specification 024119, section 1.8 – D.
2. Sheet A121: **ADD** attached bulletin SK01 referencing building joint sealant.

CLARIFICATIONS

1. The intent of the helical piers are to be placed so no future settlement occurs. We are not aware of any masonry damage. No additional brick repair scope is required at this time.
2. The existing HVAC controls are by Johnson Controls. Refer to Section 250100-2.1-A for Johnson Controls as acceptable HVAC controls manufacturer.
3. It is not anticipated that any scope of work will be required or limited to after-hours.
4. The second floor areas of the building will not be occupied during construction. The first floor

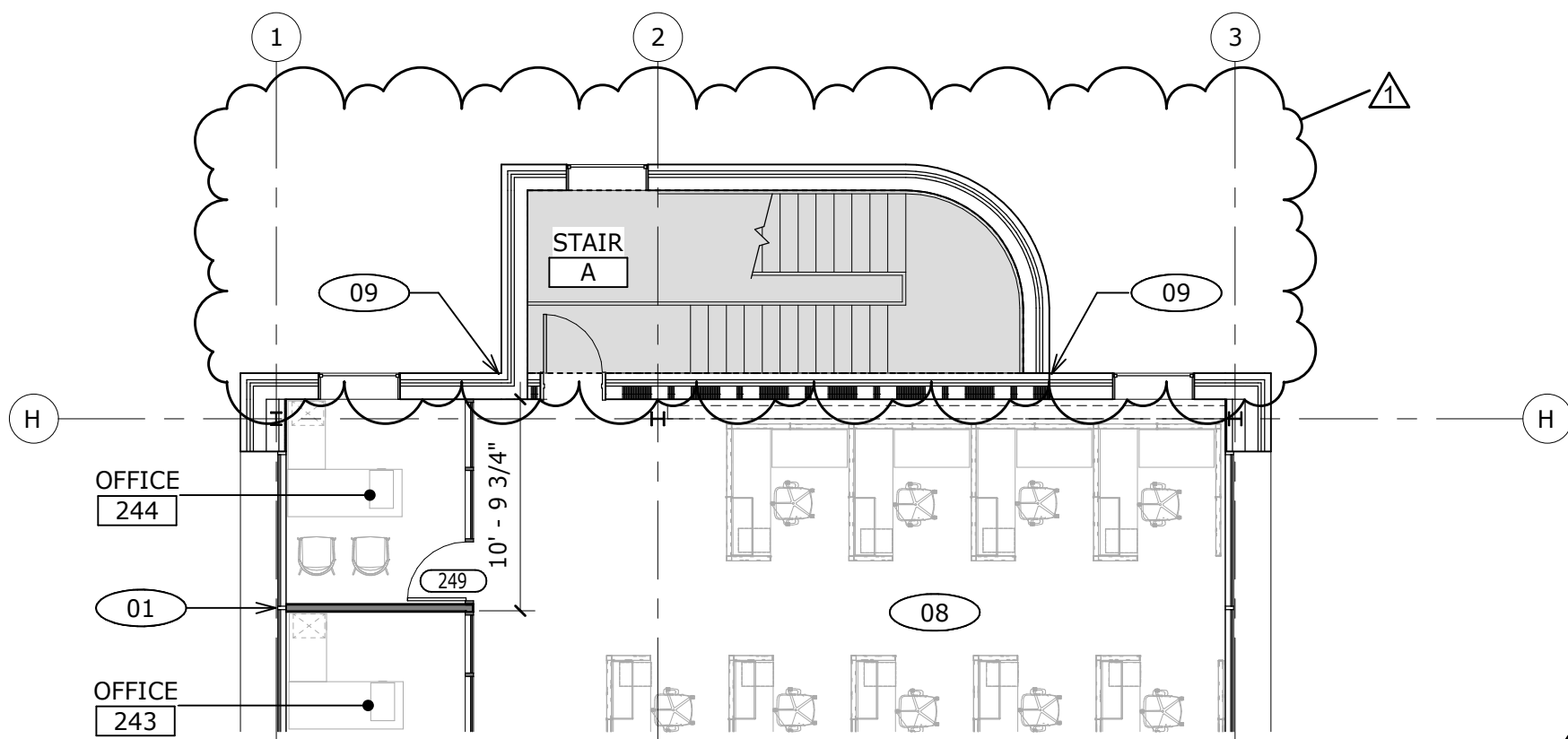
will be occupied while work is being done. Staff can be displaced temporarily if the contractor needs to access any offices or hallways to do work in the ceiling (plumbing, electrical, etc.)

5. There is no hazardous material abatement required for this project.
6. Replacement of carpet in CCB East Wing shall be included in Alternate #2. Reference Sheet ID121 for scope area. This and all alternates shall be noted separate from base bid price on Bid Proposal Form. See Article 5, section 5.01 of City of Raleigh Bid Form provided in the specifications.
7. Alternate #1 scope shall include installing LVT to match existing at new undercounter ice maker location
8. Alternate #2 scope shall include demolition of existing carpet in CCB East Wing Office Area.

END OF ADDENDUM #2

PLAN KEYNOTES

- 01 ALIGN CENTER OF WALL WITH CENTER OF MULLION. GC TO PROVIDE ALUM. VERTICAL TRIM ENCLOSURE; PAINTED BLACK.
- 02 ALIGN EDGE OF WALL WITH EDGE OF CURTAIN WALL WINDOW.
- 03 UNDERCOUNTER ICEMAKER TO BE INSTALLED IN PREVIOUS BASE CABINET BETWEEN REFRIGERATOR AND SINK. **(ADD ALT NO. 1)**
- 04 NEW ACOUSTIC CEILING PANELS ATTACHED TO BOTTOM OF DECK. CONTRACTOR TO COORDINATE WITH EXISTING DUCTWORK/HANGERS.
- 05 NEW TV LOCATION. TV AND MOUNTING DEVICE BY OWNER. CONTRACTOR TO PROVIDE WALL BLOCKING AND ELECTRICAL/DATA AS NOTED ON ELECTRICAL SHEETS.
- 06 PATCH AND REPAIR WALL TO MATCH EXISTING FINISH.
- 07 PAINT ALL NEW MECHANICAL DUCKWORK/CONDUIT TO MATCH EXISTING. PAINTING OF DECK IS NOT REQUIRED.
- 08 ALL FURNITURE BY OWNER
- 09 CONTRACTOR TO REPLACE VERTICAL CONTROL JOINT SEALANT BETWEEN STAIR SHAFT AND MAIN BUILDING STRUCTURE UPON COMPLETION OF HELICAL PIER REPAIR WORK. ASSUME BUILDING HEIGHT OF 35-FEET.



1 2nd FLOOR PLAN REVISIONS
SK01 1/8" = 1'-0"