

DURHAM TECH FACILITIES BUILDING

DURHAM, NORTH CAROLINA

SITE PLAN SUBMITTAL: NOVEMBER 21, 2017

OWNER: DURHAM TECH. COMM. COLLEGE ARCHITECT: DTW ARCHITECTS & PLANNERS, INC
1616 COOPER ST. 229 N. GREGSON ST.
DURHAM, NC 27705 DURHAM, NC 27702
919-636-7200 EXT. 6206 919-317-4020
CONTACT: MARSHALL FULLER CONTACT: ROBERT SOTOLONGO

LANDSCAPE ARCHITECT: COULTER JEWELL THAMES, PA
111 WEST MAIN STREET
DURHAM, NC 27701
919-682-0368
CONTACT: JEREMY ANDERSON

CIVIL ENGINEER: COULTER JEWELL THAMES, PA
111 WEST MAIN STREET
DURHAM, NC 27701
919-682-0368
CONTACT: PRESTON ROYSTER

PROJECT DATA

PARCELS:		
PIN:	0830-07-58-4362	
PID:	118835	
OWNER:	DURHAM TECHNICAL COMMUNITY COLLEGE TRUSTEES	
DB:	391 PG 698	
ACREAGE:	1,183,069.6 SF (27.16 AC)	
LAND USE:	COMMUNITY SERVICE/OTR EDUCATION FACILITY	
EXISTING:	NO CHANGE	
PROPOSED:		
PIN:	0830-06-48-8582	
PID:	118836	
OWNER:	DURHAM TECHNICAL COMMUNITY COLLEGE TRUSTEES	
DB:	346 PG 52	
PB:	158 PG 203	
ACREAGE:	203,860.8 SF (4.68 AC)	
LAND USE:	COMMUNITY SERVICE/OTR EDUCATION FACILITY	
EXISTING:	NO CHANGE	
PROPOSED:		
ZONING:		
EXISTING:	OI	
PROPOSED:	OI	
DEVELOPMENT TIER:	URBAN	
TOTAL SITE AREA:	1,386,950.4 SF (31.84 AC)	
AREA OF DISTURBANCE:	122,000 SF (2.80 AC)	
RIVER BASIN:	CAPE FEAR RIVER BASIN/JORDAN LAKE	
WATERSHED PROTECTION OVERLAY:	NONE	
BUILDING DATA		
EXISTING:	EX. TECH CENTER BUILDING TO REMAIN (DURHAM TECH COMMUNITY COLLEGE - TECH CENTER SITE PLAN - APPROVED IN 1996 (9 CLASSROOMS, 12 LABS, 4800 SF OFFICE SPACE))	
PROPOSED:	3,360 SF OFFICE 7,745 SF WAREHOUSE	
TOTAL:	11,105 SF	
PARKING DATA		
REQUIRED PARKING:		
EX. TECH CENTER BUILDING	70 SPACES	(54 FOR CLASS + 16 OFFICE, N/A FOR ACCESSORY LAB)
PRO. OFFICE (1 SP/300 SF)	11 SPACES	(3,360 / 300)
PRO. CLASSROOM	1 SPACE	
PRO. WAREHOUSE (N/A-ACCESSORY)	0 SPACES	(7,745)
TOTAL REQUIRED SPACES	82 SPACES	
PROPOSED PARKING:		
EXISTING SPACES	171 SPACES (INCL. 7 ADA SPACES)	
EX. SPACES REMOVED	-114 SPACES	
SPACES TO BE RESTRIPTED	+30 SPACES	
TOTAL	87 SPACES (INCL. 2 PROPOSED ADA SPACES)	(9 TOTAL ADA SPACES)
BICYCLE PARKING:		
REQUIRED:	20% PROVIDED MOTOR VEHICLE PARKING 12 SPACES X 0.20 = 1 SPACE	
PROPOSED:	4 SPACES	
TREE COVERAGE AREA:		
REQUIRED:	N/A	
LANDSCAPE BUFFERS:		
SIDE YARDS:	20' ADJACENT TO RU-5	
BUILDING SETBACKS:		
FRONT:	15' MAX.	
SIDE:	10' MIN.	
REAR:	25' MIN.	
BUILDING COVERAGE:		
ALLOWED:	60% MAX.	
PROVIDED:	40,207 SF = 2.9%	
MAXIMUM BUILDING HEIGHT:	95'	
PROPOSED BUILDING HEIGHT:	20'	
EXISTING IMPERVIOUS SURFACE:	287,942 SF = 6.61 AC (20.76%)	
PROPOSED IMPERVIOUS SURFACE:	294,833 SF = 6.77 AC (21.26%)	

PROJECT NOTES

- SURVEY PROVIDED BY COULTER JEWELL THAMES, PA DATED APRIL 24, 2017
- THIS PROJECT IS SERVED BY PUBLIC WATER AND SEWER.
- ALL NEW UTILITIES ARE TO BE INSTALLED UNDERGROUND.
- THIS SITE IS NOT IN A WATERSHED PROTECTION AREA.

RESOURCE ORDINANCE COMPLIANCE

FLOODPLAIN PROTECTION: FLOOD PLAIN IS LOCATED ON THIS SITE PER FEMA MAP NUMBER 3720083000J (MAY 2, 2006).

STEEP SLOPE PROTECTION: THERE ARE NO STEEP SLOPES IN THE PROJECT AREA.

WETLANDS PROTECTION: THERE ARE NO WETLANDS IN THE PROJECT AREA.

STREAM BUFFERS: THERE ARE STREAM BUFFERS ON THIS SITE.

DURHAM STANDARD NOTES

- For sites containing floodplain: All development within the floodway or non-encroachment area or floodway fringe and non-encroachment area fringe, including fill, new construction, substantial improvements, manufactured housing, storage of materials and storage of toxic or flammable substances, is prohibited except as provided by applicable Flood Hazard Regulations of UDO Section 3.22 and 8.4.
Floodplain elevations: BFE (future) range = 312.0' to 314.6'
Floodplain zone: Zone X (future)
FEMA map number: 372083000J
FEMA map date: May 2, 2006

- Landscape Mulch: Pine straw shall not be used as mulch or groundcover within ten feet of any structures consisting of exterior combustible construction as specified by Durham City Code Section 46-67.

- Undisturbed Landscape Buffers: 20 foot wide undisturbed landscape buffer. No clearing or grading other than selective thinning and ordinary maintenance of existing vegetation permitted.

DURHAM STANDARD NOTES (cont'd)

- Tree Protection Note (UDO Sec. 8.3): Tree protection fencing must be in place prior to any demolition, land disturbance, or issuance of a grading permit and shall include warning signs posted in both English and Spanish, as follows: "No Trespassing/Tree Protection Area/Prohibido Entrar / Zona Protectora Para los Árboles."

- Protection of existing vegetation (UDO Sec. 8.3): At the start of grading involving the lowering of existing grade around a tree or stripping of topsoil, a clean, sharp, vertical cut shall be made at the edge of the tree save area prior to or at the same time as silt fence and other erosion control measures are installed. The tree protection fencing shall be installed on the side of the cut farthest away from the tree trunk and shall remain in place until all construction in the vicinity of the trees is complete. No storage of materials, fill, or equipment and no trespassing shall be allowed within the boundary of the protected area.

- FOR SITES REQUIRED TO HAVE AN ENGINEERED STORM WATER CONTROL DEVICE: Construction plans will not be approved prior to receiving an executed stormwater facility operation and maintenance permit agreement, payment of the stormwater facility permit fee (\$2,000 per engineered storm water control), and perpetual surety for the continued operation and maintenance of the facility (surety based on final design of pond/device). Contact the Storm Water Services Division of the Public Works Department.

- UDO Site Lighting Note (UDO Sec. 7.4): Measures shall be provided to prevent light spillover onto adjacent properties and glare toward motor vehicle operators and shall be indicated on the site plan. Exterior lights shall be indicated so that they do not cast direct light beyond the property line. In accordance with these standards:
 - The maximum illumination at the edge of the property line adjacent to residential zoning is 0.5 foot candles.
 - The maximum illumination at the edge of the property line adjacent to nonresidential zoning is 5.0 foot candles.
 - The maximum illumination at the edge of the property line adjacent to a street is 5.0 foot candles.
 - The level of illumination as measured in foot candles at any one point shall meet the standards in the table in UDO Section 7.4 with minimum and maximum levels measured on the pavement within the lighted area.
 - The maximum height for directional or full cut-off lighting fixtures (fixtures designed to insure that no light is emitted above a horizontal line parallel to the ground) shall be 30 feet above grade, measured to the top of the fixture.
 - The maximum height for non-directional lighting fixtures, which are defined as fixtures designed to allow light to be emitted above a horizontal line parallel to the ground, shall be 15 feet above grade, measured to the top of the fixture.
 - These standards must be verified by field survey (by use of photometric survey) prior to the Certificate of Compliance being issued. All of this information, including details, will be required on building plans prior to issuance of building permit

- LANDSCAPING / C.O. STANDARDS NOTE: All landscaping must be in place prior to request for a Certificate of Compliance.

- LANDSCAPE RE-INSPECTION FEE: Each landscaping compliance inspection after the initial inspection will incur a re-inspection fee, starting at \$100 + 4% technology surcharge. Each subsequent re-inspection will increase by \$100 + 4%(example 1st-\$104, 2nd-\$208, 3rd-\$312, etc). Payment must be received by the Durham City County Planning Department prior to re-inspection.

- CITY STORM DRAINAGE EASEMENTS: Centerline of foot wide public storm water drainage easement. Ownership of, and responsibility for improvement and maintenance of storm water facilities in this easement remains with the Grantor. If the property is within or becomes a part of the City, the easement and access points to the easement are subject to the terms and restrictions stated in the "Revised Declaration of Rights and Privileges of the City of Durham in Storm Water Management Facility Easements" recorded in Real Estate Book 2298, Page 208, which document is incorporated herein. This easement and Revised Declaration do not create the obligation to provide public maintenance. No buildings, structures, fills, embankments or obstructions permitted within the easement except according to those terms.

- ROOT ZONE PROTECTION AREA: Equals one foot of radius for every inch of diameter of existing trees, or six foot radius, whichever is greater. No disturbance allowed within this area. Area must be protected with tree protection fencing and warning signs.

- JOB SITE COPY: A copy of the approved site plan must be on site and available for periodic inspection and use during construction to evaluate compliance with the approved site plan. Required inspection will not take place if the jobsite copy is not available and re-inspection fees will be charged.

- Fire notes to be included on cover sheet:
 - Temporary or permanent roadways of all-weather driving surface, capable of supporting a 75,000 pound vehicle weight, shall be established prior to the commencement of building construction activities. These roadways shall be extended with the progress of construction so that:
 - All points around the perimeter of a building under construction is no greater than 150 feet travel distance from a roadway.
 - Fire department connections (FDC), either temporary or permanent, are no greater than 100 feet travel distance from a roadway.
 - Temporary weather-resistant street signs of standard size and lettering shall be provided at the intersections of temporary or permanent roadways and shall remain in place until replaced by permanent signs.
 - Fire hydrants, as shown on the approved site plan, shall be placed in service and made available to the fire department as soon as combustible material arrives on site. No construction fencing or other barriers are to be placed between the roadway and the hydrants, with minimum 3 feet working clearance around hydrants. Hydrant service shall be extended with the progress of construction so that:
 - All points around the perimeter of a building under construction is no greater than 500 feet travel distance from a hydrant.
 - Fire department connections (FDC), either temporary or permanent, are no greater than 50 feet travel distance from a hydrant.

STORMWATER STANDARD NOTES

- AT A MINIMUM, THE STORMWATER DESIGN DETAILS FOR THIS PROJECT SHALL BE GOVERNED BY THE MINIMUM STANDARDS OF THE MOST RECENT EDITION OF THE CITY OF DURHAM (CITY REFERENCE GUIDE FOR DEVELOPMENT (RGD) AND ANY LETTERS TO INDUSTRY (POSTED ON THE CITY'S WEBSITE) OR SUPPLEMENTAL NOTIFICATIONS OF RGD UPDATES (ALSO POSTED ON THE CITY'S WEBSITE) THAT ARE IN EFFECT THE DATE CONSTRUCTION DRAWINGS ARE FIRST RECEIVED FOR REVIEW BY THE CITY.
- FINAL DESIGN CALCULATIONS FOR THE STORMWATER CONTROL MEASURE(S) (SCM(S)) REQUIRE THE USE OF STORAGE INDICATION ROUTING METHODOLOGY SUCH AS TR-20 OR HEC-1 MODELS. FOR EACH SCM, AS APPLICABLE, STAGE-STORAGE RELATIONSHIP AND INFLOW AND OUTFLOW HYDROGRAPHS ARE REQUIRED. ALL TABULATED DATA INCLUDING CALCULATIONS SHOWING THE LIMITING DISCHARGE, WEATHER ORIGIN, BARREL WEIR, OR OUTLET CONTROL, AS APPROPRIATE, IS REQUIRED. HYDROCAD, HYDRAFLOW HYDROGRAPHS, AND PONDPACK ARE COMMONLY USED AND RECOGNIZED SOFTWARE PROGRAMS WHICH INCORPORATE ROUTING METHODOLOGY ACCEPTED BY THE CITY.
- STORMWATER CONTROL MEASURE(S) (SCM(S)) PERMIT FEES(S), THE EXECUTED STORMWATER FACILITY AGREEMENT AND COVENANTS (PREPARED BY THE CITY OF DURHAM STORMWATER DEVELOPMENT REVIEW SECTION) AND EITHER A PAYMENT INTO THE STORMWATER REPLACEMENT FUND OR THE PROVISION OF AN ALTERNATE SECURITY IS REQUIRED FOR ALL SCM(S) ASSOCIATED WITH THIS DEVELOPMENT. CONSTRUCTION OF THE DEVELOPMENT IS NOT ALLOWED TO COMMENCE UNTIL THESE ITEMS ARE IN ACCORDANCE WITH THE TERMS AND CONDITIONS OUTLINED IN THE STORMWATER FACILITY AGREEMENT AND COVENANTS OR IN ACCORDANCE WITH WRITTEN POLICY. THE DESIGNER SHALL SUBMIT A SEALED ENGINEER'S CONSTRUCTION COST ESTIMATE FOR EACH SCM PROPOSED IN THE DEVELOPMENT PRIOR TO APPROVAL OF THE CONSTRUCTION DRAWINGS IF A FINANCIAL GUARANTEE IN THE FORM OF PAYMENT INTO THE STORMWATER REPLACEMENT FUND IS UTILIZED. NOTE THAT THE STORMWATER REPLACEMENT FUND IS THE ONLY FINANCIAL GUARANTEE OPTION FOR RESIDENTIAL DEVELOPMENTS WITH A HOMEOWNERS ASSOCIATION.
- AN AS-BUILT CERTIFICATION FOR THE STORMWATER CONTROL MEASURE(S) (SCM(S)), PROVIDED BY THE BMP CERTIFYING ENGINEER (BCE), IS REQUIRED. THE AS-BUILT CERTIFICATION SHALL BE SUBMITTED IN ACCORDANCE WITH THE CITY OF DURHAM BCE PROGRAM. REFER TO SECTION 8.6, BMP CERTIFYING ENGINEER PROGRAM FOR STORMWATER BMP(S) IN THE CITY OF DURHAM, OF THE REFERENCE GUIDE FOR DEVELOPMENT. THE SCM AS-BUILT CERTIFICATION(S) SHALL BE APPROVED BY THE STORMWATER DEVELOPMENT REVIEW SECTION PRIOR TO THE ISSUANCE OF ANY FINAL CERTIFICATES OF OCCUPANCY/COMPLIANCE FOR DEVELOPMENT, WITH THE EXCEPTION OF WHEN AN APPROPRIATE CONSTRUCTION SECURITY HAS BEEN PROVIDED FOR SINGLE FAMILY OR TOWNHOME DEVELOPMENT. WITH THIS PROVIDED CONSTRUCTION SECURITY, CERTIFICATES OF OCCUPANCY/COMPLIANCE CAN BE ISSUED FOR A PERCENTAGE OF SINGLE FAMILY LOTS IN ACCORDANCE WITH CITY REQUIREMENTS.
- THE DEVELOPER/CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE STORMWATER DEVELOPMENT REVIEW SECTION PRIOR TO COMMENCING WORK ON ANY STORMWATER CONTROL MEASURE (SCM). IF THE SCM WILL BE CONSTRUCTED INITIALLY AS A SEDIMENTATION AND EROSION CONTROL (S&EC) DEVICE, TO BE CONVERTED TO A PERMANENT SCM AT A LATER TIME, THE PRECONSTRUCTION MEETING SHOULD BE SCHEDULED PRIOR TO CONSTRUCTION OF THE S&EC DEVICE. CALL 919-560-4326 EXT. 30238 TO SCHEDULE THE MEETING A MINIMUM OF THREE (3) BUSINESS DAYS PRIOR TO THE DESIRED MEETING DATE. THIS IS IN ADDITION TO OTHER PRECONSTRUCTION MEETING REQUIREMENTS FOR EROSION CONTROL, ENGINEERING INSPECTIONS, ETC.
- ADVISORY COMMENT: AN ASBUILT CERTIFICATION FOR THE STORMWATER BEST MANAGEMENT PRACTICE(S)(BMP(S)), PROVIDED BY THE DESIGN ENGINEER IS REQUIRED. THE ASBUILT SHALL BE SUBMITTED IN ACCORDANCE WITH THE CITY OF DURHAM BMP CERTIFYING ENGINEER (BCE) PROGRAM. REFER TO SECTION 8.6, BMP CERTIFYING ENGINEER PROGRAM FOR STORMWATER BMP(S) IN THE CITY OF DURHAM, OF THE REFERENCE GUIDE FOR DEVELOPMENT, APPROVED BY THE STORMWATER SERVICES SECTION (SS), AND THE BMP(S) SHALL BE INSPECTED AND APPROVED BY SS PRIOR TO ISSUANCE OF ANY CERTIFICATES OF OCCUPANCY/COMPLIANCE FOR THE PROJECT.
- PLEASE NOTE THAT PRIOR TO THE ISSUANCE OF WATER & SEWER PERMITS, STORMWATER SERVICES WILL NEED THE FOLLOWING:
 - PERMIT FEES FOR THE WET DETENTION POND (\$3,500)
 - RECORDED AGREEMENT
 - ATTORNEY CERTIFICATION (ALONG WITH OPINION OF TITLE)
 - ONE OF THE FOLLOWING:
 - THE STORMWATER FACILITY REPLACEMENT FUND PAYMENT (25% OF THE ENGINEERS COST ESTIMATE FOR BMP CONSTRUCTION)
 - SURETY IN THE AMOUNT OF 20X ANNUAL MAINTENANCE COSTS (ONLY FOR COMMERCIAL PROJECTS)
- CONSTRUCTION DRAWINGS APPROVAL FOR THIS PROJECT IS CONTINGENT ON RECEIVING STORMWATER APPROVAL FROM NCDEQ.

GENERAL CONDITIONS OF APPROVAL

- THE SITE WILL BE FULLY COMPLIANT WITH THE NORTH CAROLINA ACCESSIBILITY CODES (ANSI 117.1-2009 AND CHAPTER 11 OF THE NCBC) UNLESS AND EXCEPT IN AREAS WHERE AN APPROVED STATEMENT FROM A SITE ENGINEER, SURVEYOR OR ARCHITECT VERIFIES THAT THE SITE CONDITIONS EXIST WHERE THE TOPOGRAPHY OF THE SITE IS EXTREME AND ONLY ALTERNATE METHODS OF COMPLIANCE ARE POSSIBLE.
- A COMPLETED CITY OF DURHAM DESIGN SUMMARY IS REQUIRED FOR EACH DETENTION/WATER QUALITY DEVICE NO LATER THAN AT THE FIRST SUBMITTAL OF CONSTRUCTION DRAWINGS.
- SOLID WASTE CONTAINMENT CAPACITY AND COLLECTION FREQUENCY WILL PREVENT THE ILLEGAL PLACEMENT OF GARBAGE AND RECYCLABLES.
- BY REFERENCING ROADWAY IMPROVEMENTS ON THE PLAN, THE APPLICANT AGREES TO CONSTRUCT SAID IMPROVEMENTS PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY IN A MANNER THAT WILL ALLOW THEM TO FUNCTION AS NOTED ON THE PLAN AND IN ACCORDANCE WITH NCDOT AND CITY OF DURHAM STANDARDS AND POLICIES. THIS INCLUDES WHERE APPROPRIATE BUT IS NOT LIMITED TO: ADEQUATE TRANSITION TAPERS, ALIGNMENT OF LANES THROUGH INTERSECTIONS, ASSOCIATED SIGNAL MODIFICATIONS, PAVEMENT MARKINGS, ASSOCIATED SIGNAGE, CURB AND GUTTER, COORDINATION WITH OTHER PROPOSED ROADWAY IMPROVEMENTS AND BIKE LANES. THE APPLICANT ALSO ACCEPTS THE FINANCIAL RESPONSIBILITY FOR ACQUISITION OF ANY ADDITIONAL RIGHT-OF-WAY NECESSARY TO ACCOMMODATE THESE IMPROVEMENTS AND ANY REQUIRED SIDEWALK CONSTRUCTION.
- CONSTRUCTION DRAWING APPROVAL FOR THIS PROJECT IS CONTINGENT UPON THE FUTURE PURCHASE OF NUTRIENT CREDITS FROM AN APPROVED NUTRIENT BANK. IF A REVISED SITE PLAN/PRELIMINARY PLAT IS SUBMITTED FOR THIS SITE, THE REVISED SITE PLAN/PRELIMINARY PLAT WILL BE SUBJECT TO ANY ORDINANCES IN PLACE AT THE TIME OF THE REVISED SITE PLAN/PRELIMINARY PLAT SUBMISSION. PRIOR TO THE APPROVAL OF ANY CONSTRUCTION DRAWINGS OR PRIOR TO THE RELEASE OF ANY BUILDING PERMITS PERTAINING TO THIS DEVELOPMENT, WHICHEVER COMES FIRST, A LETTER SHOWING THE PURCHASE OF THE NUTRIENT CREDITS FOR THIS DEVELOPMENT AND A COPY OF THE NUTRIENT BANK LEDGER, SHOWING THE TOTAL NUTRIENT CREDITS AVAILABLE MINUS ANY AND ALL DEDUCTIONS, IS TO BE PROVIDED TO SS.

REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF COMPLIANCE

- AN AS-BUILT SURVEY OF THE SITE, PERFORMED BY THE DESIGN PROFESSIONAL OR DESIGNEE, MUST BE SUBMITTED TO THE BUILDING INSPECTIONS DEPARTMENT CERTIFYING THAT ALL SITE ACCESSIBILITY CODE REQUIREMENTS SUCH AS CURB CUTS, RAMP SLOPES, SIDEWALK SLOPES AND WIDTHS, AND CROSS SLOPES MEET THE REQUIREMENTS OF THE NC ACCESSIBILITY CODE PRIOR TO CO ISSUANCE.
- ALL LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF COMPLIANCE.

PUBLIC WORKS CONDITIONS OF APPROVAL

- All sizes, materials, slopes, locations, extensions and depths for all proposed utilities (waterlines, sanitary sewer lines and storm drainage conveyance systems) shall be reviewed at construction drawing submittal and be subject to approval by the City of Durham Public Works department based upon the design criteria and standards set forth by the Public Works department and be subject to review and approval by the Public Works department at construction drawing submittal.
- The designing professional (a NCPE, NCPLS or NCRLA - as required) shall submit three (3) sets of construction drawings to the Public Works Department - Development Review for review and approval. Construction drawing approval is required prior to commencing construction (see Construction Plan Approval Process). The approval of construction drawings is separate from site plan approval. City officials shall review all sizes, materials, slopes, locations, extensions and depths for all proposed utilities (waterlines, sanitary sewer lines and storm drainage conveyance systems) for compliance with all applicable regulatory standards, specifications, and best management practices.
- The designing professional (a NCPE, NCPLS, or NCRLA - as required) shall submit one (1) set of as-built drawings to the Public Works Department - Development Review for review and approval. As-built drawing approval is required prior to water meter installation and/or sanitary sewer service connection and prior to issuance of a certificate of occupancy.
- Fire flow analysis required for review and approval as part of the construction drawing approval process. To schedule a flow test complete the online application (<http://durhamnc.gov/1538/Fire-Flow-Test-Request>).
- If a meter 2" or larger is proposed, contact Water Management at 919-560-4381 ext. 35268 prior to the construction of the meter vault to verify the type and dimensions of the meter.
- Water permit required after construction drawing approval and prior to commencing water main installation.

- An NCDOT or City of Durham Driveway Permit is required.
 - A CITY DRIVEWAY NOTE WHERE THERE IS TO BE A NEW DRIVEWAY CONSTRUCTION WITHIN ROW OF A CITY MAINTAINED STREET AS FOLLOWS: A City of Durham Driveway Permit is required prior to any driveway construction on public right-of-way. Submit plans for Driveway Permit approval to City Engineering Development Review. After obtaining the permit, please call City of Durham Engineering Inspection office at 560-4326 prior to start of construction.
 - A STATE DRIVEWAY NOTE WHERE THERE IS TO BE A NEW DRIVEWAY CONSTRUCTION WITHIN ROW OF A STATE MAINTAINED STREET AS FOLLOWS: NCDOT Driveway Permit required prior to construction. Contact NCDOT at 220-4750.

- SIDEWALK NOTE WHERE THERE IS TO BE A SIDEWALK WITHIN A ROW AS FOLLOWS: The location of the sidewalks shown on this plan is schematic. A City of Durham and/or NCDOT encroachment permit is required prior to any construction. After obtaining the required permits, please contact the City of Durham Engineering Construction Inspection office at 560-4326 for a pre-construction conference and field visit prior to any work on the proposed sidewalk.

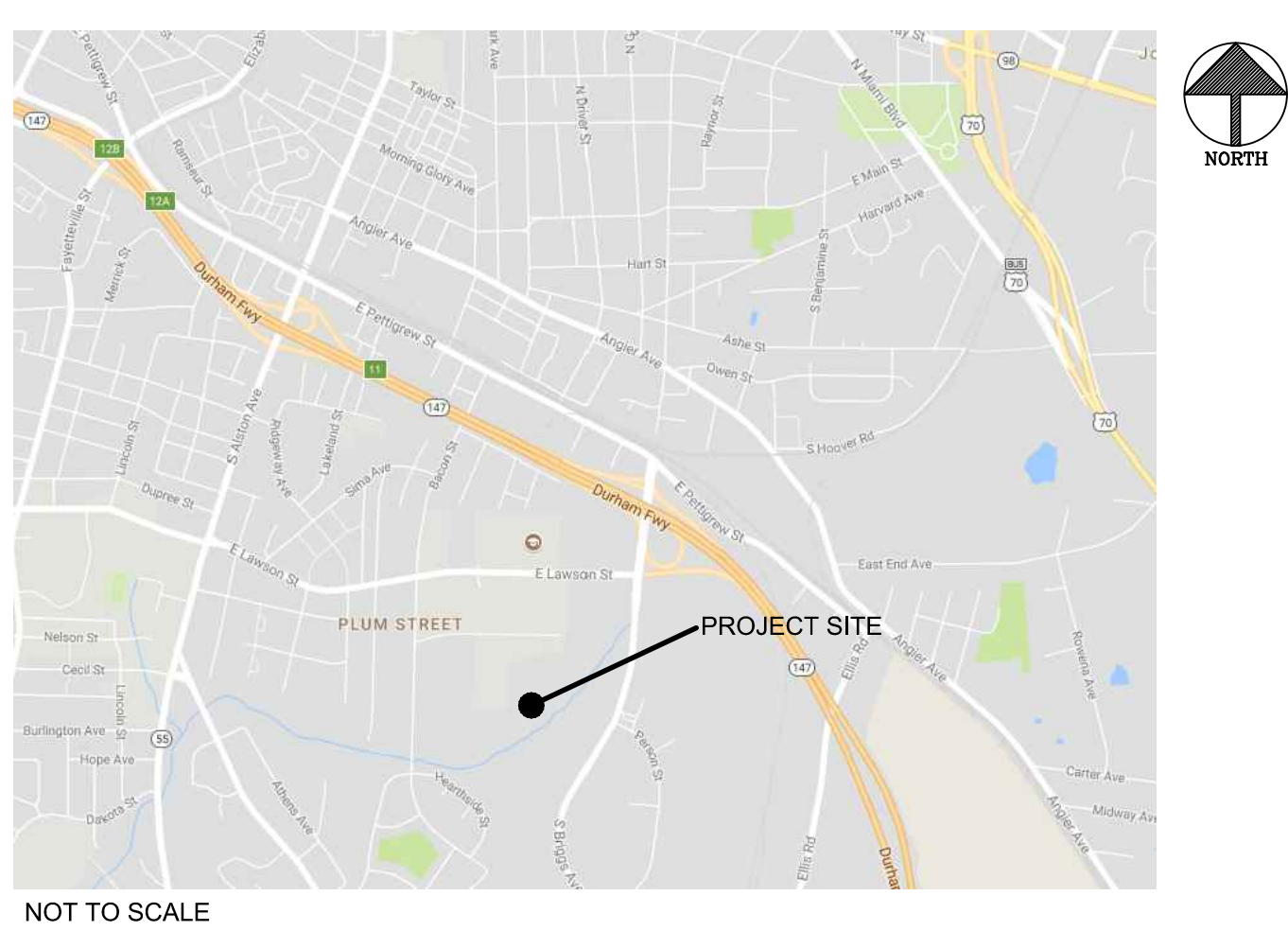
- When sidewalk and curb ramps are proposed:
 - PROWAG standards are to be used. See City of Durham Curb Cuts Details <http://durhamnc.gov/DocumentCenter/Home/View/2114>.
 - For ramps in "tight" existing developed areas with small ROW's (Downtown, etc) it is recommended specific ramp details are needed to prevent construction delays. The burden to make it work is on the designing engineer.

- For Developments required to have a stormwater BMP facility:
 - Final design calculations for the stormwater BMP facility will require the use of storage indication routing methodology such as TR-20 or HEC-1 models. For the BMP facility, provide stage-storage relationship and inflow and outflow hydrographs. Provide all tabulated data including calculations showing the outlet under orifice control, barrel control and weir control, as appropriate, to show how the routing was developed.
 - An executed stormwater facility operation and maintenance permit agreement (prepared by Stormwater Services, City of Durham), payment of stormwater facility permit fee per BMP facility and perpetual surety for the continued operation and maintenance of the facility is required prior to construction plan approval.
 - An as-built certification for the stormwater BMP(s), provided by the design engineer, is required. The as-built shall be submitted per the Reference Guide for Development, approved by the Stormwater Services Division and the BMP(s) shall be inspected and approved by the Stormwater Services Division prior to issuance of any certificates of occupancy or certificates of compliance for the project.
 - A completed City of Durham Design Summary is required for each stormwater BMP facility no later than at the first construction drawing submittal.
 - Stormwater BMP facility design calculations will not be reviewed or approved with the Site Plan/Preliminary Plat submittal. All stormwater BMP facility designs will be reviewed and approved during the construction drawing submittal process.

- Horizontal and Vertical Separation: A. Sanitary Sewers shall be laid at least 10-feet horizontally from any existing or proposed water main. The distance shall be measured edge to edge. In cases where it is not practical to maintain a 10-foot separation, the City of Durham may allow deviation on a case-by-case basis, if supported by data from the design engineer. Such deviation may allow the installation of the sanitary sewer closer to a water main, provided that the water main is in a separate trench or on an undisturbed earth shelf located on one side of the sanitary sewer and at an elevation so the bottom of the water main is at least 18-inches above the top of the sewer. B. If it is impossible to obtain proper horizontal and vertical separation as described above or anytime the sanitary sewer is over the water main, both the water main and sanitary sewer must be constructed of ferrous pipe complying with the public water supply design standards and be pressure tested to 150-psi to assure water tightness before backfilling.

- Construction drawing approval for this project is contingent upon the future purchase of nutrient credits from an approved Nutrient Bank or NCEEP. If a revised site plan/preliminary plat is submitted for this site, the revised site plan/preliminary plat will be subject to any ordinances in place at the time of the revised site plan/preliminary plat submission. Prior to the approval of any construction drawings or prior to the release of any building permits pertaining to this development, whichever comes first, a letter showing the purchase of the nutrient credits for this development and a copy of the nutrient bank ledger if applicable, showing the total nutrient credits available minus any and all deductions, shall be provided to Stormwater Services.

VICINITY MAP



SPECIAL CONDITIONS OF APPROVAL

- ALL SIZES, MATERIALS, SLOPES, GEOMETRY, LOCATIONS, EVALUATIONS, EXTENSIONS AND DEPTHS FOR ALL EXISTING AND PROPOSED STREETS AND UTILITIES (WATERLINE, SANITARY SEWER LINES AND STORM DRAINAGE CONVEYANCE SYSTEMS) SHALL BE DESIGNED TO THE SPECIFICATIONS SET FORTH IN THE DESIGN CRITERIA AND STANDARDS OF THE PUBLIC WORKS DEPARTMENT AND BE SUBJECT TO REVIEW AND APPROVAL BY THE PUBLIC WORKS DEPARTMENT AT CONSTRUCTION DRAWING SUBMITTAL.

THE FOLLOWING ITEMS ARE NOT REQUIRED FOR SITE PLAN APPROVAL BUT ARE ITEMS THAT ARE REQUIRED BEFORE CONSTRUCTION OF WATER, SEWER, STORM DRAINAGE AND STREETS CAN BEGIN. DEVELOPER IS ULTIMATELY RESPONSIBLE TO MAKE CERTAIN THAT THESE ITEMS ARE COMPLETE AND APPROVED.

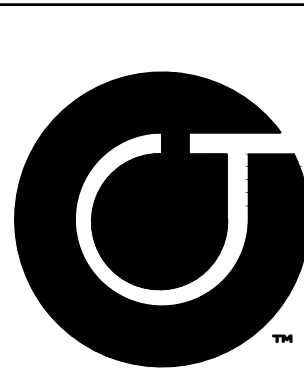
- CONSTRUCTION DRAWINGS REQUIRED: THE DESIGN ENGINEER (A NCPE) WILL SUBMIT 3 SETS OF CONSTRUCTION DRAWINGS (PLAN & PROFILE IF REQUIRED) TO CITY ENGINEERING FOR REVIEW AND APPROVAL BEFORE STARTING CONSTRUCTION. THIS SUBMITTAL MUST BE DONE PRIOR TO APPLYING FOR A BUILDING PERMIT. NOTE: THE APPROVAL OF CONSTRUCTION DRAWINGS IS SEPARATE FROM SITE PLAN APPROVAL.
- BACKFLOW PREVENTER PERMIT REQUIRED. CONTACT DEPARTMENT OF WATER MANAGEMENT AT 560-4194.
- NCDOT ENCROACHMENT AGREEMENTS REQUIRED FOR ALL UTILITY AND SIDEWALK CONSTRUCTION WITHIN THE RIGHT OF WAY.

LIST OF SHEETS

CD-0.0	COVER SHEET	CD-8.0	SITE DETAILS
CD-0.1	OVERALL SITE	CD-8.1	SITE DETAILS
CD-0.2	STAGING AND LAYDOWN PLAN	CD-8.5	DRAINAGE DETAILS
CD-1.0	EXISTING CONDITIONS / DEMOLITION PLAN	CD-8.6	DRAINAGE DETAILS
CD-2.0	SITE PLAN	CD-8.10	UTILITY DETAILS
CD-3.0	GRADING AND DRAINAGE PLAN	CD-8.11	UTILITY DETAILS
CD-4.0	EROSION CONTROL PLAN	CD-8.12	UTILITY DETAILS
CD-4.1	EROSION CONTROL DETAILS	CD-9.0	SANDFILTER DETAILS
CD-4.2	EROSION CONTROL DETAILS	A1	FLOOR PLAN
CD-5.0	UTILITY & LIGHTING PLAN	A4	ELEVATIONS
CD-5.1	WATER AND SEWER CONNECTIONS		
CD-7.0	LANDSCAPE PLAN		

EROSION CONTROL NOTES

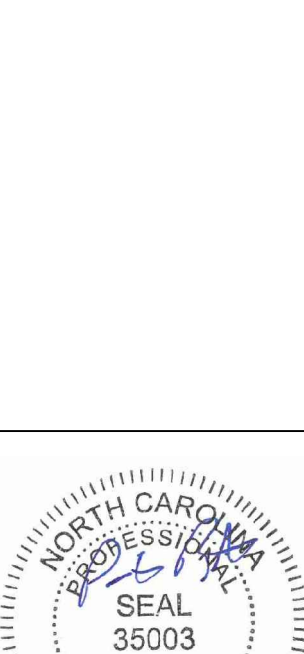
- EROSION CONTROL PLAN REVIEW AND LAND DISTURBANCE PERMIT WILL BE PERFORMED AND ISSUED BY NCDEQ.



Coulter
Jewell
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